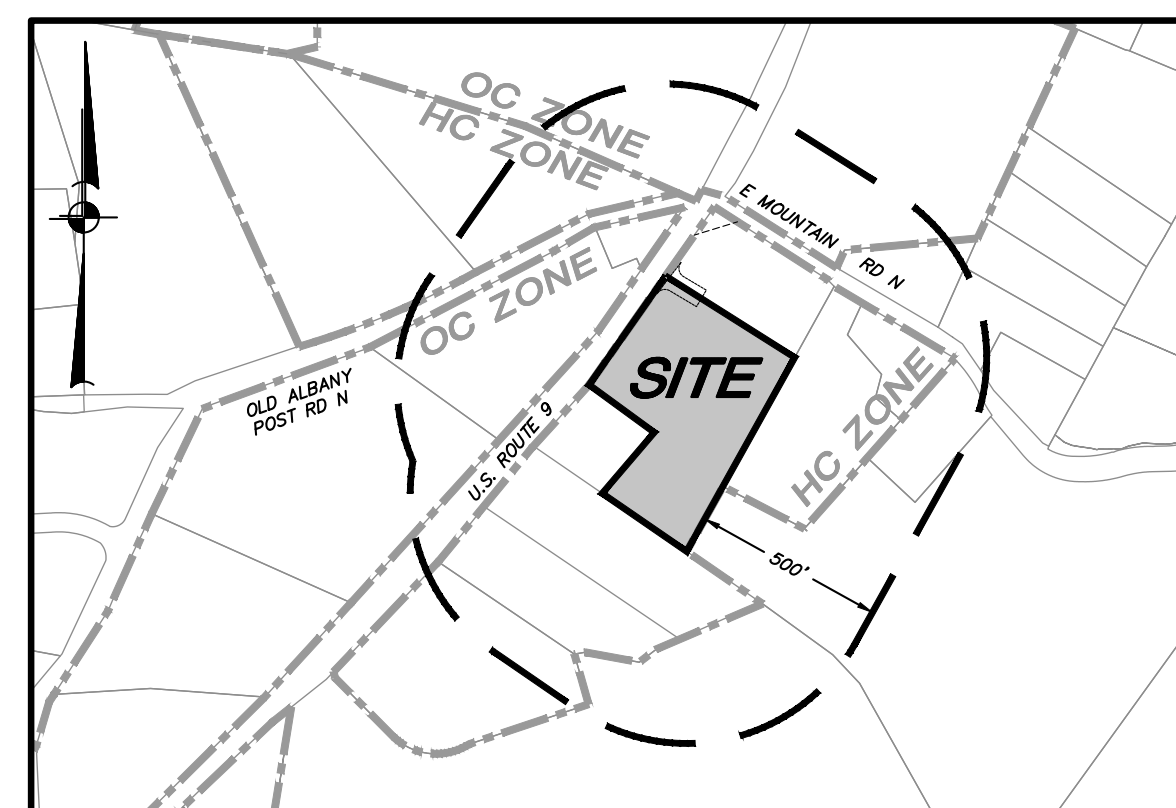


LOCATION MAP SCALE: 1" = 1,000'±



VICINITY MAP SCALE: 1" = 500'±

**OWNER:**  
3622 Route 9 LLC  
108 Hudson Pointe Dr  
Poughkeepsie, NY 12601

**SITE DATA:**  
Zone: HC (Highway Commercial)  
Total Acreage: 4.5 AC  
Tax Map No.: 17-1-44

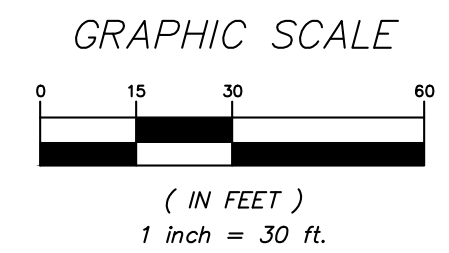
**APPLICANT:**  
N. Dain's Son's Co., Inc.  
2 North Water Street  
Peekskill, NY 10566

**GENERAL NOTES:**

- Boundary and topographic info shown hereon are taken from a survey by Insite Engineering, Surveying & Landscape Architecture, P.C., dated May 30, 2019.
- Site soils as shown hereon are approximated from USDA soil mapping.
- Any future lease of the subject property or units therein, shall include a requirement that the tenant must abide by the terms of this site plan.

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE w/ guy & overhead wires
	EXISTING UTILITY PAD & RISERS
	EXISTING MANHOLE (type unidentified)
	EXISTING POST MOUNTED LIGHT
	EXISTING LIGHT POLE
	EXISTING SOIL BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING TREELINE
	EXISTING TREE
	EXISTING STRUCTURE
	EXISTING FENCE
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	EXISTING WELL TO BE ABANDONED
	EXISTING SEPTIC TO BE ABANDONED



**TOWN OF PHILIPSTOWN NOTES:**

- Topography in U.S.G.S. Datum.
- All proposed utilities shall be placed underground.
- All existing trees to be saved shall be flagged and snow fence is to be erected around trees prior to any construction activities.
- Prior to the initiation of construction the applicant or his representative will meet with the Town Engineer, Highway Superintendent, Building Inspector, Site Contractor, and/or any additional outside agencies that may have jurisdiction for a Pre-Construction Conference to review all facets of construction and required inspections.
- All erosion controls are to be set in place prior to any land disturbances on the site.
- Per New York State Law, the contractor shall call DigSafely New York at 1-800-962-7962 two (2) full days prior to performing any excavation work.
- All embankments are to be graded and seeded immediately upon being laid back.
- Stabilized construction entrances shall be provided at all entrances to the construction site, and shall conform to New York State Guidelines for Urban Erosion and Sediment Control.
- The buildings and site improvements shown hereon are not to be revised without further Planning Board approval.
- All areas shown by limits of disturbance shall be flagged and suitable barriers erected prior to any construction activities.
- Prior to commencement of any clearing, grading, or excavation in connection with the proposed construction activity, the owner of record shall file a "Notice of Intent" with the NYS DEC and the Town of Philipstown. When all construction has been completed and the site has reached final stabilization the Owner shall submit a "Notice of Termination" to the NYS DEC and the Town of Philipstown.
- No substitutions, alterations, deviations or other changes to any of the improvements shown on the approved site plan shall be made during construction, or shall be accepted by the Town of Philipstown unless prior approval in writing has been received by the Project Owner or his assigned representative.
- Prior to the issuance of a certificate of occupancy the Project Owner shall deliver to the Planning Department an as-built survey showing the location of any buildings, and the location and elevation of all stormwater management facilities including outlet control structures, weir walls, outfall pipes and overflow spillways.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

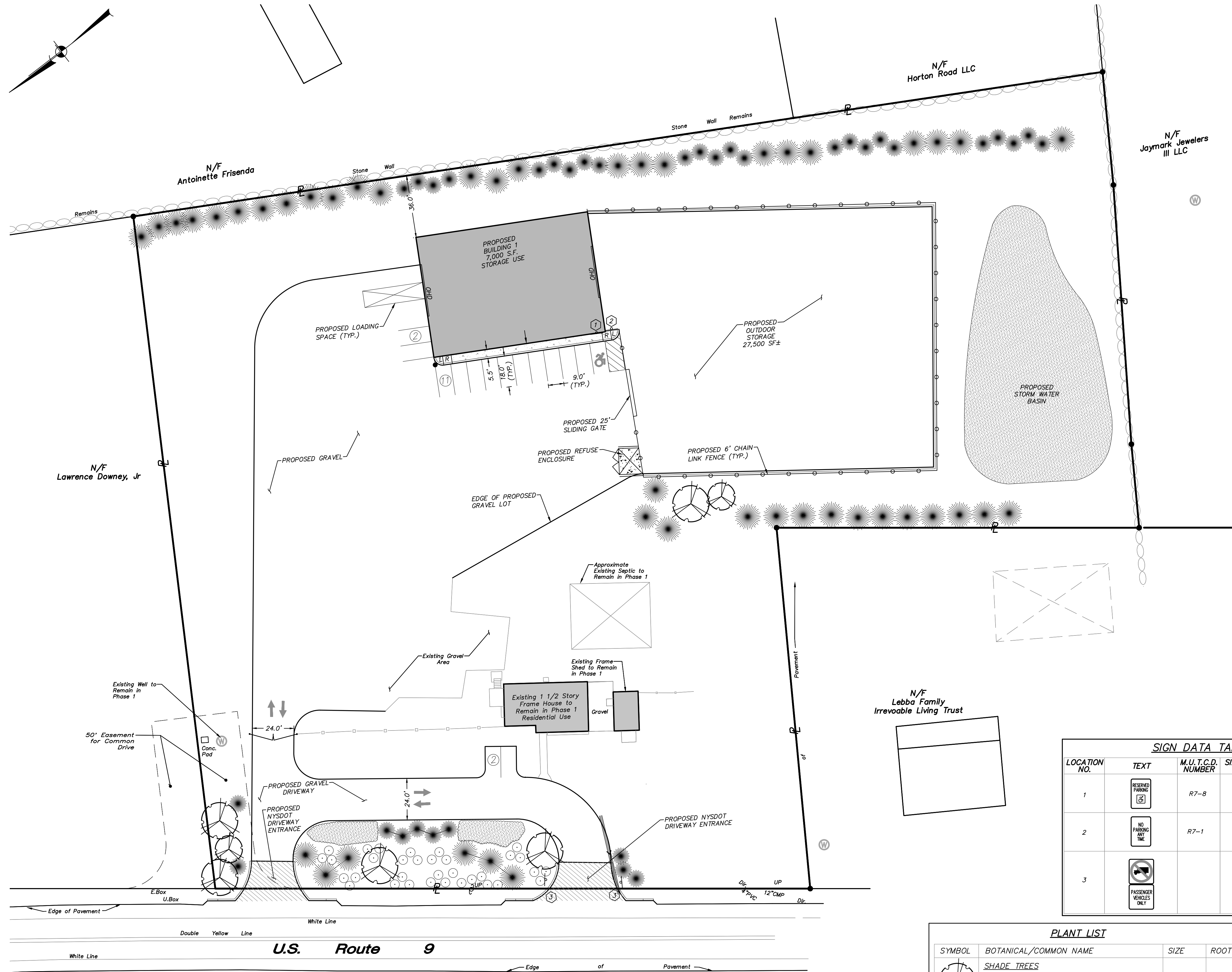
1	11-3-22	REVISED FOR PB SUBMISSION	MEU
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT: <b>DAIN LUMBER</b>		3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>EXISTING CONDITIONS PLAN</b>					
PROJECT NUMBER	22217.100			PROJECT MANAGER	J.M.W.
DATE	10-6-22			DRAWN BY	S.M.R.
SCALE	1" = 30'			CHECKED BY	A.D.T.
		DRAWING NO. SHEET			
		EX-1 / 8			





**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING TREELINE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PAINTED CROSSWALK
	PROPOSED PAINTED STOPBAR
	PROPOSED DOUBLE YELLOW LINE
	PROPOSED SINGLE BROKEN WHITE LINE
	PROPOSED PAINTED DIRECTIONAL ARROW
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED ADA COMPLIANT RAMP
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED RECYCLE / TRASH CONTAINER / REFUSE ENCLOSURE
	PROPOSED SINGLE POLE SIGN
	PROPOSED DOUBLE POLE SIGN
	PROPOSED DOUBLE SIDED SIGN
	PROPOSED BOLLARD
	PROPOSED GUIDE RAIL
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED POST MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED LANDSCAPING

**ZONE REQUIREMENTS TOWN OF PHILIPSTOWN HC ZONE**

	REQUIRED / PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	4.5 AC ± (196,686 s.f. ±)
Minimum Lot Frontage (US-9):	300'	343' ±
Minimum Front Yard (US-9):	35'	90' ±
Minimum Side Yard:	15'	88' ±
Minimum Rear Yard:	35'	36' ±
Maximum Impervious Coverage:	60%	44%
Maximum Height:	40'	Less than 40'
Maximum Footprint (SF) For Nonresidential Structures:	40,000 SF	7,000 SF

- NOTES:**
- Special Use Permit Required in Clove Creek Aquifer Overlay District
  - As depicted in the plan, signage will indicate that the southerly driveway will service passenger vehicles only. All trucks must use the northerly entrance.

**OUTDOOR STORAGE**  
 PERMITTED @ 20% OF TOTAL LOT SF = 39,337 SF  
 PROPOSED = 27,500 SF±

**PARKING SUMMARY:**  
 Building 1:  
 Warehouse Use - Approx. 7,000 S.F. @ 1 space / 1,000 S.F. = 7 spaces required  
 Existing Residence  
 Residential Use - 1 unit @ 2 spaces / unit = 2 spaces required  
 Total Spaces Required = 9 spaces required  
 Total Spaces Provided = 15 spaces provided

- Any machinery or mechanical equipment that is to be stored on site overnight are to be kept within the designated storage areas.
- Only passenger grade vehicles are to be stored in the front parking lot overnight. All trucks are to be stored behind Building 1.

**SIGN DATA TABLE**

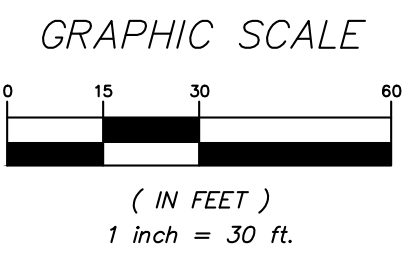
LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1		R7-8	12" x 18"	Blue on White
2		R7-1	12" x 18"	Red on White
3			18" x 18" Each Sign	Black and Red on White

**PLANT LIST**

SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT
<b>SHADE TREES</b>			
	Acer saccharum / Sugar Maple	8'-10' HT.	B&B
	Quercus rubra / Red Oak	8'-10' HT.	B&B
<b>FLOWERING TREES</b>			
	Cercis canadensis / Redbud	8'-10' HT.	B&B
	Cornus florida / Flowering Dogwood	8'-10' HT.	B&B
<b>EVERGREEN TREES</b>			
	Juniperus virginia / Eastern Redcedar	7'-8' HT.	B&B
	Picea glauca / White Spruce	7'-8' HT.	B&B
<b>SHRUBS</b>			
	Aronia arbutifolia / Red Chokeberry	#3 CONT./6' O.C.	
	Juniperus horizontalis 'Bar Harbor' / Creeping Juniper	#3 CONT./6' O.C.	
	Rhododendron atlanticum / Deciduous Azalea	#3 CONT./6' O.C.	
	Rhododendron maximum / Rosebay Rhododendron	#3 CONT./6' O.C.	
<b>PERENNIALS/GROUND COVERS</b>			
	Aquilegia canadensis / Columbine	#1 CONT./18" O.C.	
	Mertensia virginica / Virginia Bluebells	#1 CONT./18" O.C.	

**USE TABLE TOWN OF PHILIPSTOWN HC ZONE**

	USE	AREA	TENANTS/EMPLOYEES	ANTICIPATED TRIPS
Existing Primary Structure To Be Remain in Phase 1:	Existing: Contractor Office/Storage (Service Business)	2,000 SF±	N/A	
	Proposed: Single Family Residential			
Proposed Building 1:	Storage (Warehouse/Wholesale)	7,000 SF	1-3 Intermittent	5-10 per Week



11-3-22 REVISED FOR PB SUBMISSION MEU  
 NO. DATE REVISION BY

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 Carmel, NY 10512  
 (845) 225-9690  
 (845) 225-9717 fax  
 www.insite-eng.com

PROJECT: **DAIN LUMBER**  
 3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK

DRAWING: **PHASE 1 LAYOUT & LANDSCAPE PLAN**

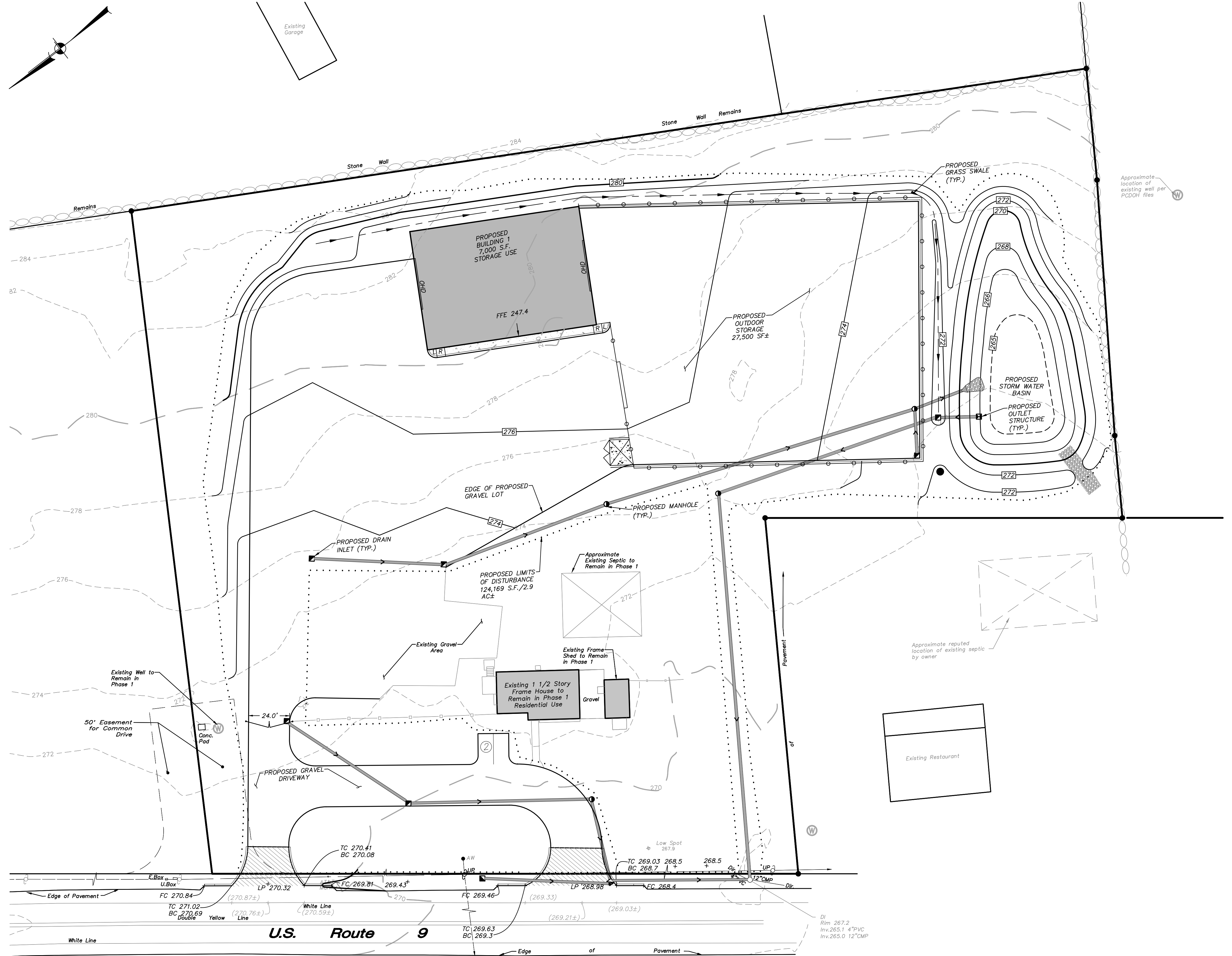
PROJECT NUMBER: 22217.100 PROJECT MANAGER: J.M.W.  
 DATE: 10-6-22 DRAWN BY: S.M.R.  
 SCALE: 1" = 30' CHECKED BY: A.D.T.

DRAWING NO. SHEET  
 SP-1.1 2  
 8

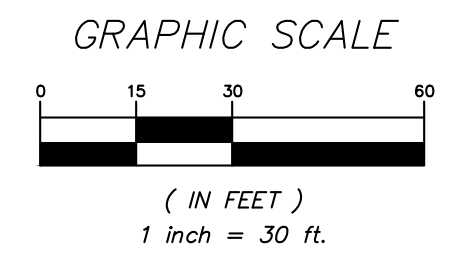
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

\* See Stormwater Basin Aquatic Bench Plantings on Sheet D-3





LEGEND	
—	EXISTING PROPERTY LINE
- - -	EXISTING 10' CONTOUR
- - -	EXISTING 2' CONTOUR
x (270.76±)	EXISTING SPOT ELEVATION
—	PROPOSED 10' CONTOUR
—	PROPOSED 2' CONTOUR
x 100.5	PROPOSED SPOT ELEVATION
TC 101.0	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
x BC 100.5	PROPOSED SPOT ELEVATION
■	PROPOSED CATCH BASIN
□	PROPOSED OUTLET STRUCTURE
▲	PROPOSED WELL
◀	PROPOSED END SECTION
—	PROPOSED DRAINAGE PIPE
—	PROPOSED GRASS SWALE
—	PROPOSED SEPTIC SYSTEM

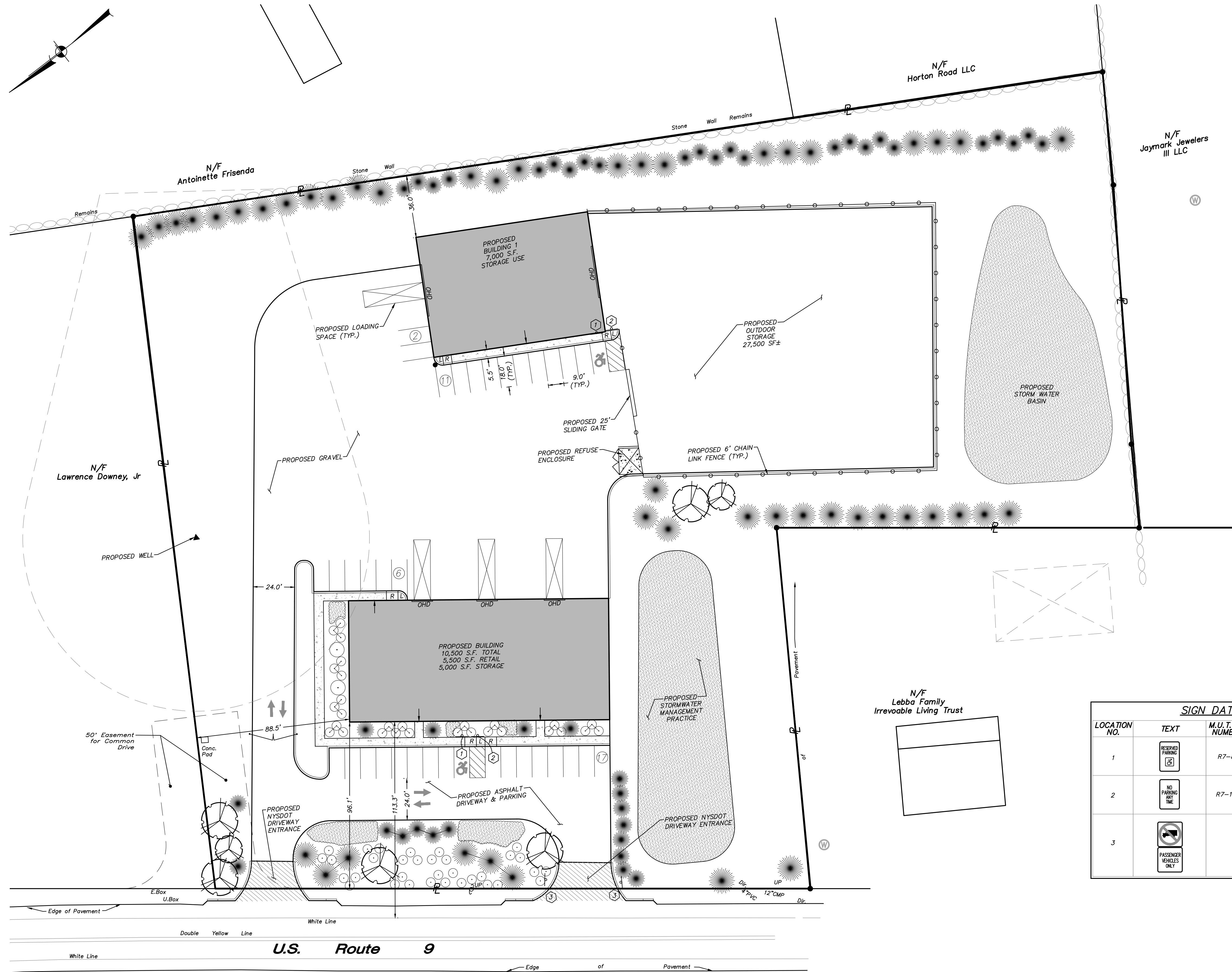


NO.	DATE	REVISION	BY
PROJECT: <b>DAIN LUMBER</b> 3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>PHASE 1 GRADING &amp; UTILITIES PLAN</b>			
PROJECT NUMBER	22217.100	PROJECT MANAGER	J.M.W.
DATE	11-3-22	DRAWN BY	S.M.R.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.	SP-1.2	SHEET	3
			8

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

Z:\16\22217.100\DWG\PHILIPSTOWN\05-SP-1.2.dwg, 11/7/2022, 12:23:37 PM, richardson, 11





**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING TREELINE
	PROPOSED # OF STALLS TO BE STRIPED
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PAINTED CROSSWALK
	PROPOSED PAINTED STOPBAR
	PROPOSED DOUBLE YELLOW LINE
	PROPOSED SINGLE BROKEN WHITE LINE
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	PROPOSED LOADING SPACE
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	PROPOSED SINGLE POLE SIGN
	PROPOSED DOUBLE POLE SIGN
	PROPOSED BOLLARD
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	PROPOSED POLE MOUNTED LIGHT
	PROPOSED POST MOUNTED LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED LANDSCAPING

**ZONE REQUIREMENTS TOWN OF PHILIPSTOWN HC ZONE**

	REQUIRED / PERMITTED	PROPOSED
Minimum Lot Area:	40,000 s.f.	4.5 AC ± (196,686 s.f. ±)
Minimum Lot Frontage (US-9):	300'	343' ±
Minimum Front Yard (US-9):	35'	96' ±
Minimum Side Yard:	15'	89' ±
Minimum Rear Yard:	35'	36' ±
Maximum Impervious Coverage:	60%	49%
Maximum Height:	40'	Less than 40'
Maximum Footprint (SF) For Nonresidential Structures:	40,000 SF	17,500 SF

**SIGN DATA TABLE**

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (s.f.)	DESCRIPTION
1		R7-8	12" x 18"	Blue on White
2		R7-1	12" x 18"	Red on White
3			18" x 18" Each Sign	Black and Red on White

**NOTES:**

- Special Use Permit Required in Clove Creek Aquifer Overlay District
- As depicted in the plan, signage will indicate that the southerly driveway will service passenger vehicles only. All trucks must use the northerly entrance.

**OUTDOOR STORAGE**  
 PERMITTED @ 20% OF TOTAL LOT SF = 39,334 SF  
 PROPOSED = 27,500 SF±

**PARKING SUMMARY:**

**Building 1:**  
 Warehouse Use - Approx. 7,000 S.F. @ 1 space / 1,000 S.F. = 7 spaces required

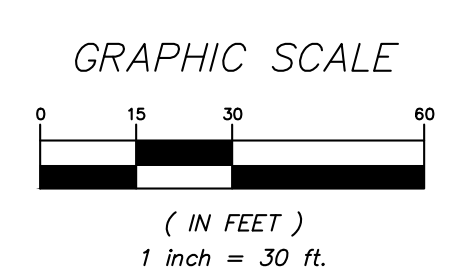
**Building 2:**  
 Retail Use - Approx. 5,500 S.F. @ 4 spaces / 1,000 S.F. = 22 spaces  
 Warehouse Use - Approx. 4,000 S.F. @ 1 space / 1,000 S.F. = 4 spaces  
 Office Use - Approx. 1,000 S.F. @ 3 spaces / 1,000 S.F. = 3 spaces

Total Spaces Required = 36 spaces required  
 Total Spaces Provided = 36 spaces provided

- Any machinery or mechanical equipment that is to be stored on site overnight are to be kept within the designated storage areas.
- Only passenger grade vehicles are to be stored in the front parking lot overnight. All trucks are to be stored behind Building 1.

**USE TABLE TOWN OF PHILIPSTOWN HC ZONE**

USE	AREA	TENANTS/EMPLOYEES	ANTICIPATED TRIPS
Proposed Building 1: Storage (Warehouse/Wholesale)	7,000 SF	1-3 Intermittent	5-10 per Week
Proposed Building 2:	Contractor Office and Storage (Service Business)	5,000 SF	2-9 4-12 per Day
	Hardware and Building Materials Store (Retail)	5,500 SF	2-3 TBD



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1	11-3-22	REVISED FOR PB SUBMISSION	MEU
NO.	DATE	REVISION	BY

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 (845) 225-9717 fax  
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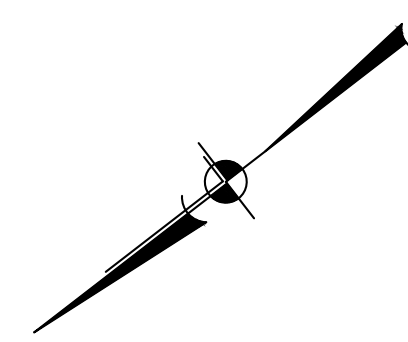
PROJECT: **DAIN LUMBER**  
 3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK

DRAWING: **PHASE 2 LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER: 22217.100 PROJECT MANAGER: J.M.W.  
 DATE: 10-6-22 DRAWN BY: S.M.R.  
 SCALE: 1" = 30' CHECKED BY: A.D.T.

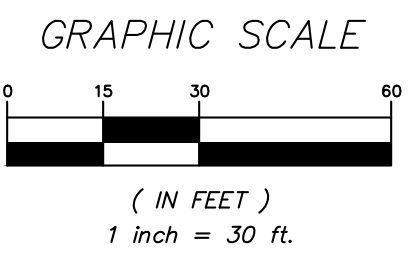
DRAWING NO. **SP-2.1** SHEET 4/8





LEGEND	
—	EXISTING PROPERTY LINE
---	EXISTING 10' CONTOUR
- - -	EXISTING 2' CONTOUR
x (270.76±)	EXISTING SPOT ELEVATION
—	PROPOSED 10' CONTOUR
- - -	PROPOSED 2' CONTOUR
x 100.5	PROPOSED SPOT ELEVATION
TC 101.0	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
BC 100.5	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
□	PROPOSED CATCH BASIN
□	PROPOSED OUTLET STRUCTURE
▲	PROPOSED WELL
◀	PROPOSED END SECTION
—	PROPOSED DRAINAGE PIPE
—	PROPOSED GRASS SWALE
—	PROPOSED SEPTIC SYSTEM

- GRADING AND UTILITIES NOTES:**
- Boundary and topographic info shown hereon are taken from a survey by Insite Engineering, Surveying & Landscape Architecture, P.C., dated May 30, 2019.
  - Anticipated average water and wastewater usage to be 600 gallons per day.
  - Total impervious coverage after Phase 2 will be 95,865 S.F.

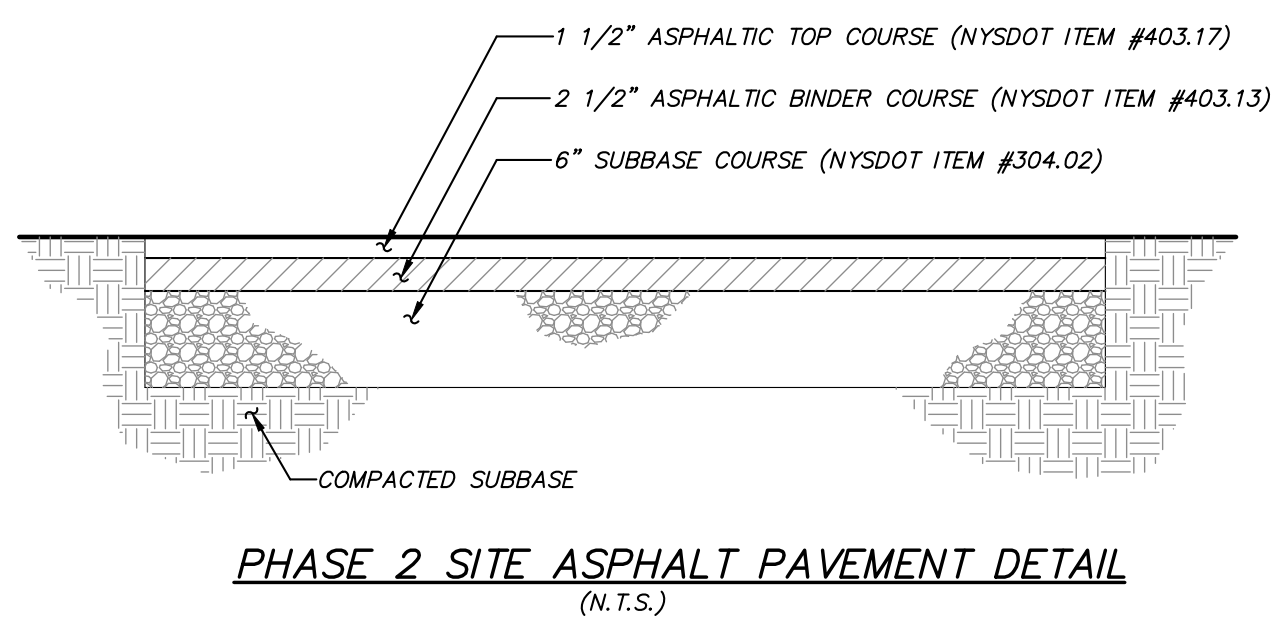


NO.	DATE	REVISION	BY
PROJECT:		<b>DAIN LUMBER</b> 3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK	
DRAWING:		<b>PHASE 2</b> <b>GRADING &amp; UTILITIES PLAN</b>	
PROJECT NUMBER	22217.100	PROJECT MANAGER	J.M.W.
DATE	11-3-22	DRAWN BY	S.M.R.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.	SP-2.2	SHEET	5
			8

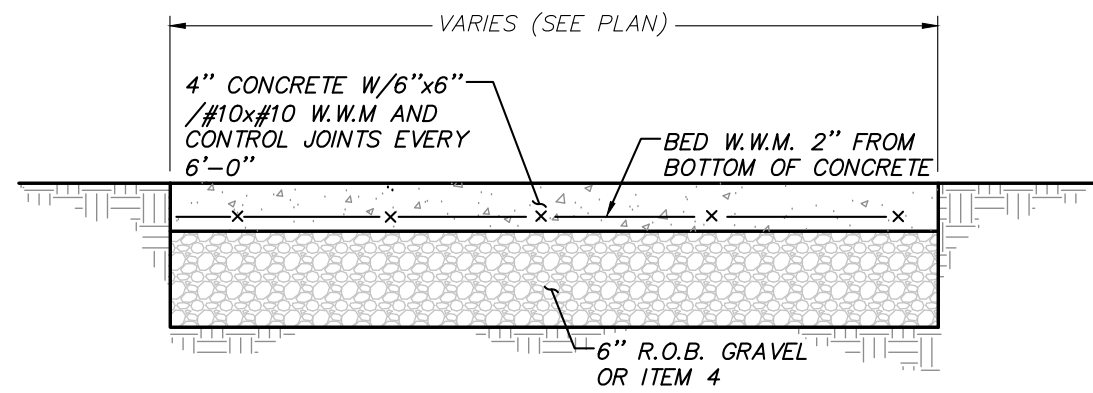
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

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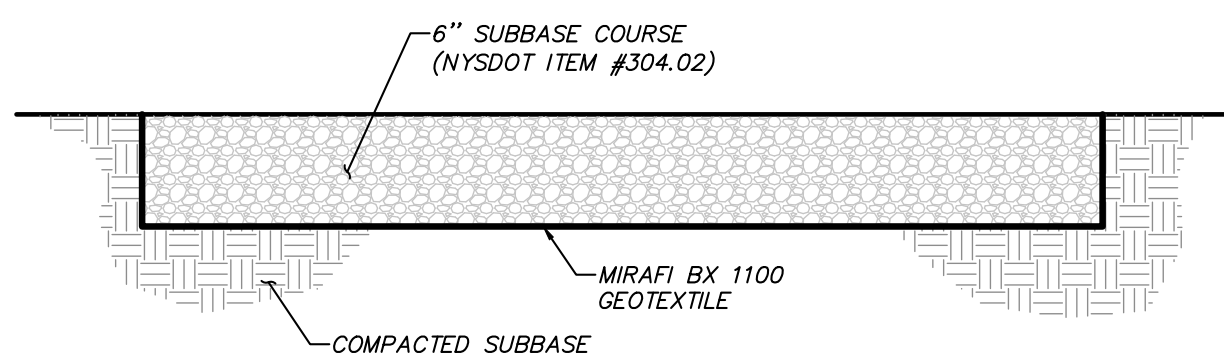




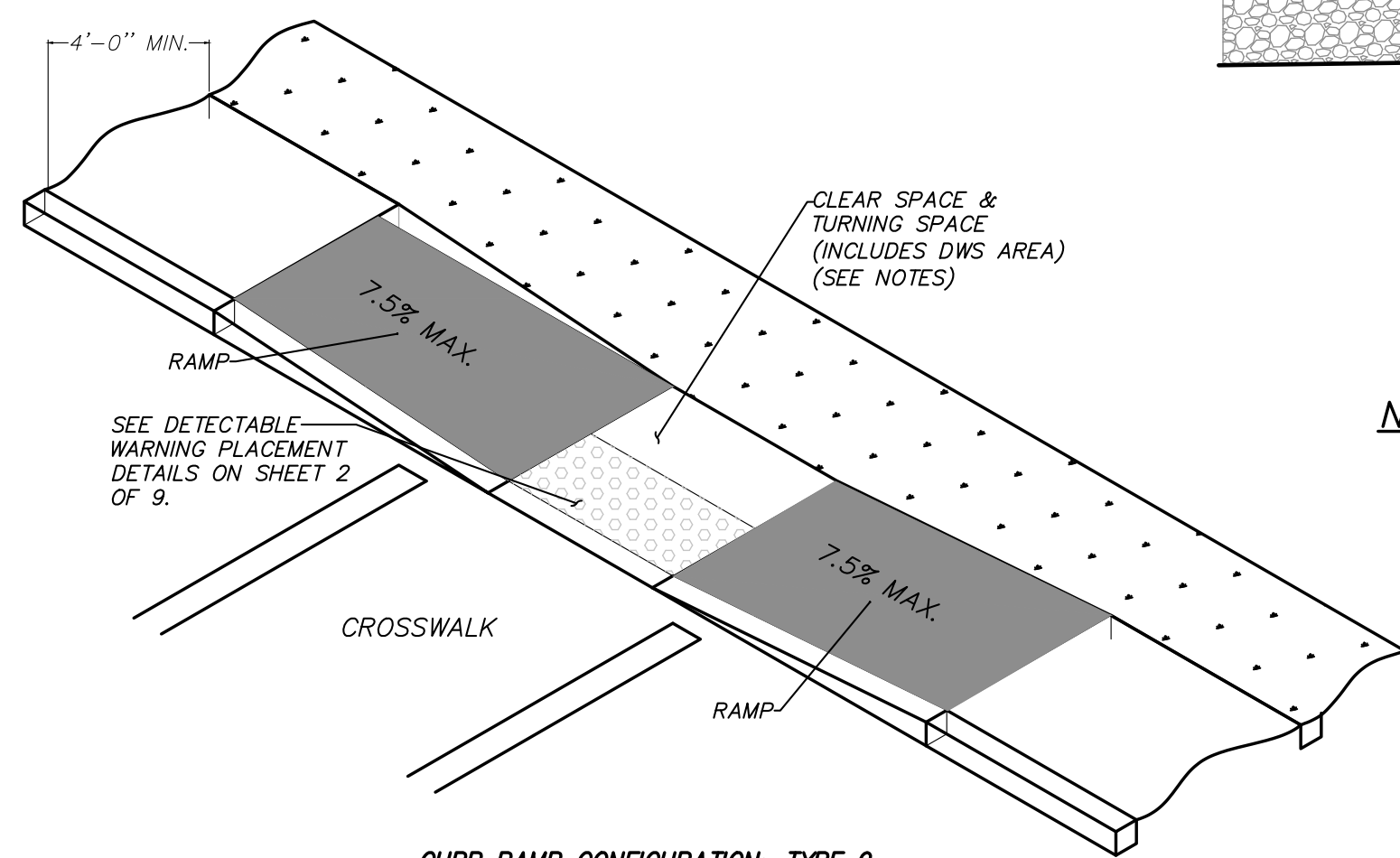
PHASE 2 SITE ASPHALT PAVEMENT DETAIL (N.T.S.)



CONCRETE SIDEWALK DETAIL (N.T.S.)

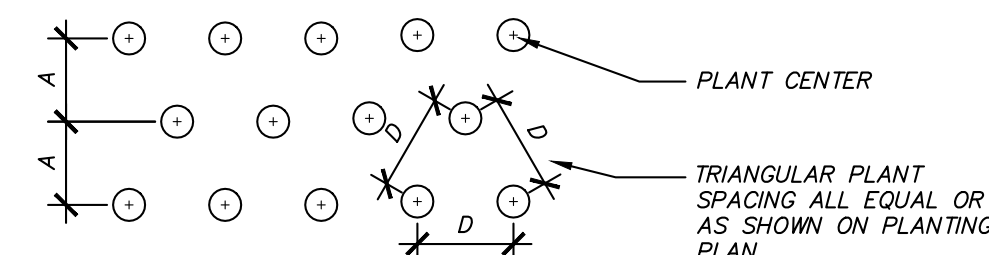


GRAVEL PAVEMENT DETAIL (N.T.S.)



CURB RAMP CONFIGURATION: TYPE 9 MID BLOCK CROSSING OR T INTERSECTION (N.T.S.)

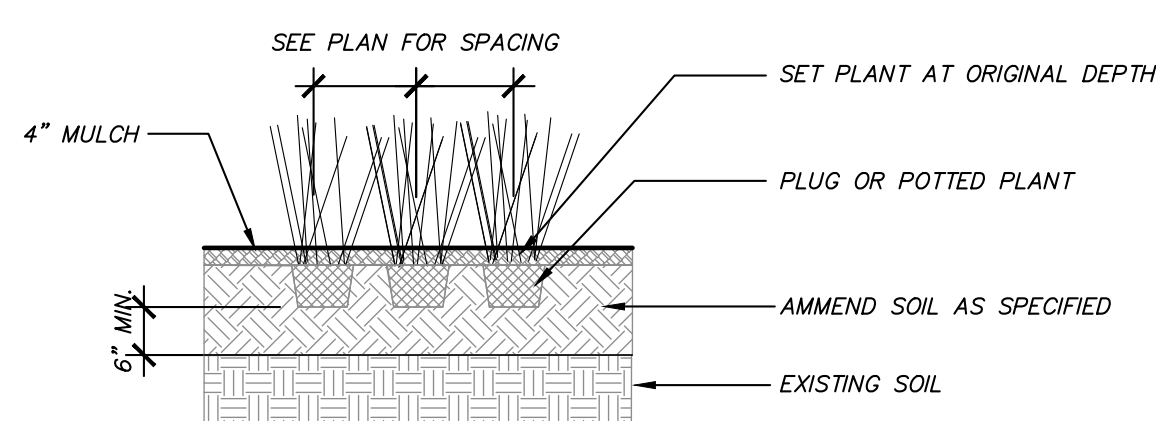
- NOTES:
- WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
  - TURNING SPACES SHALL NOT BE DESIGNED WITH CROSS SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE. THE MAXIMUM CROSS SLOPE FOR WORK ACCEPTANCE IS 2.0%. A NONSTANDARD FEATURE JUSTIFICATION IS REQUIRED WHERE TURNING SPACES EXCEED 2.0% IN ANY DIRECTION.
  - BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.



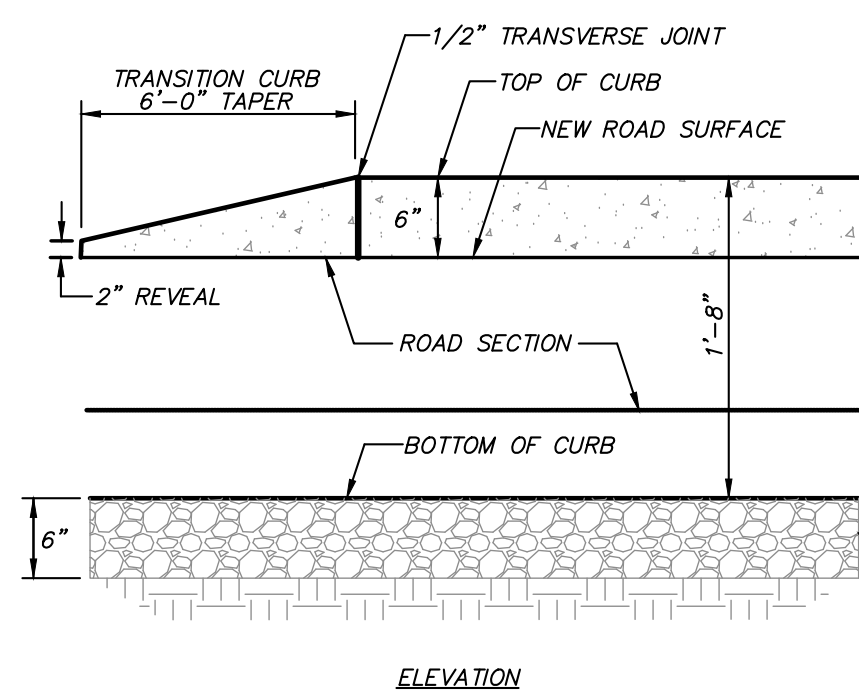
GRASS PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.	NOTES:
24" O.C.	20.8"	0.29	PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING.
18" O.C.	15.6"	0.50	
12" O.C.	10.4"	1.15	
10" O.C.	8.7"	1.66	
8" O.C.	6.9"	2.60	

QUANTITY OF PLANTS AND SPACING AS NOTED IN PLANTING SCHEDULE

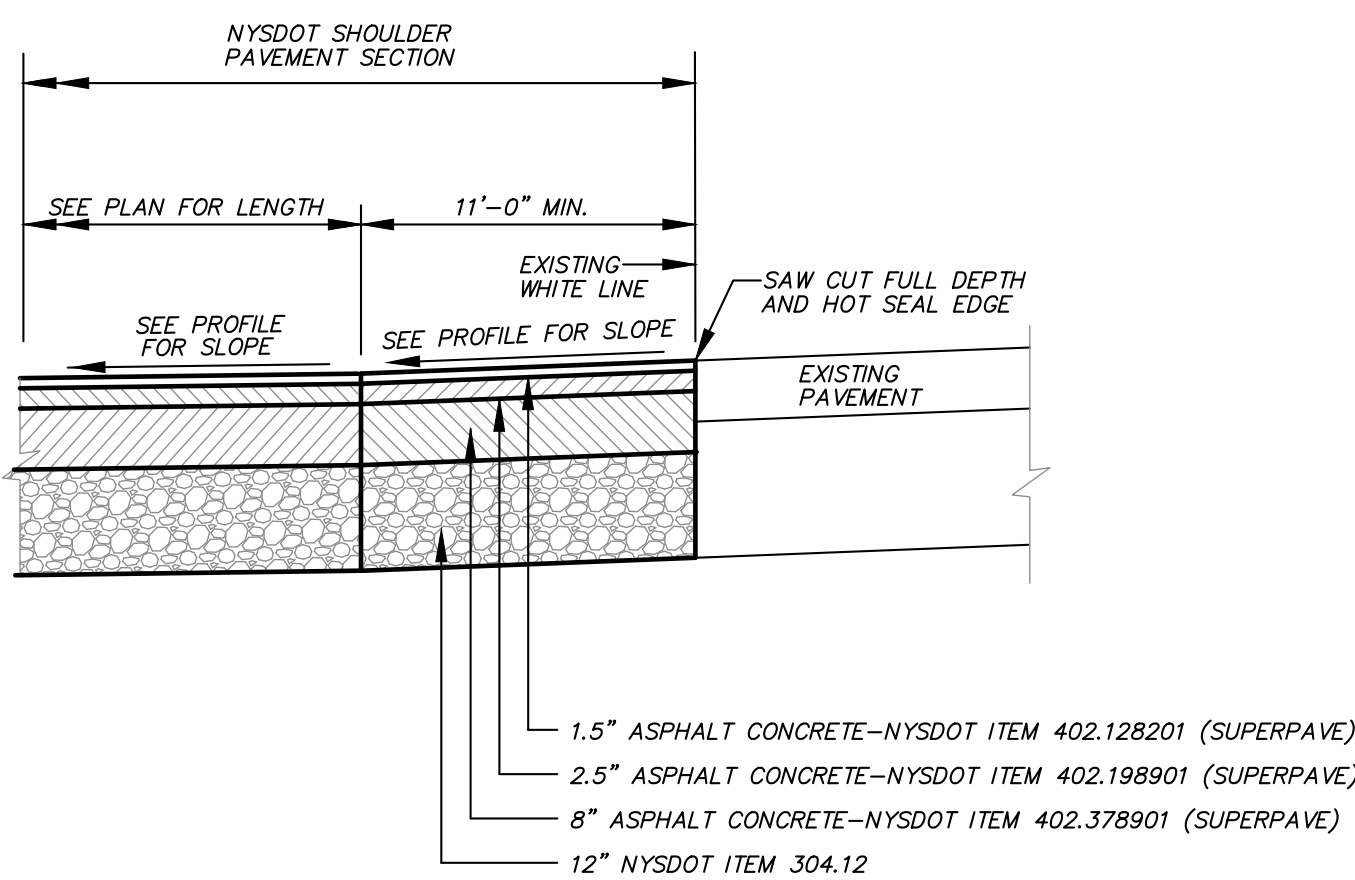


PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL (N.T.S.)

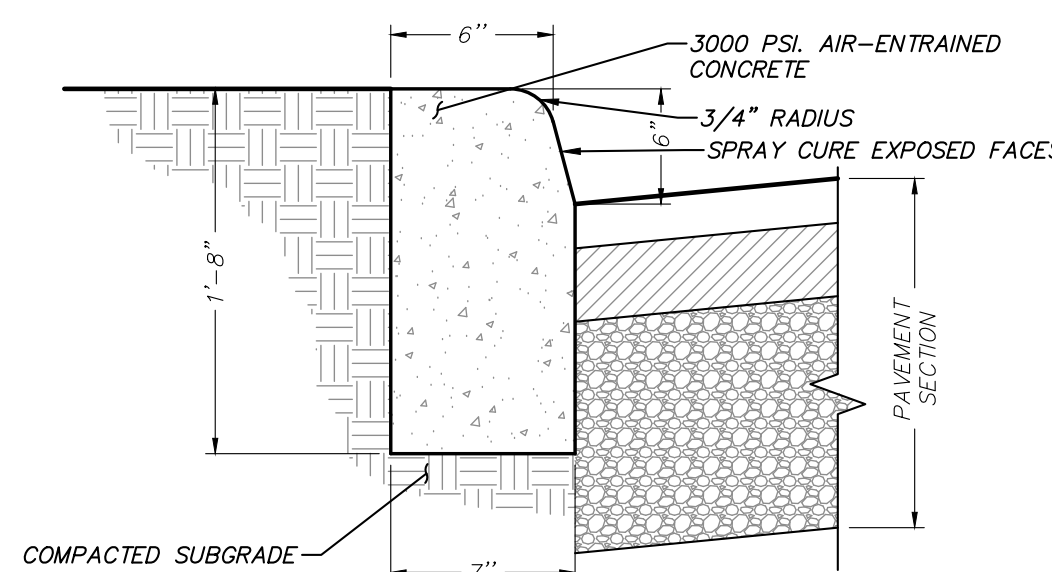


NYSDOT CONCRETE CURB DETAIL (N.T.S.)

NOTE: TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 10'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS AS SPECIFIED, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

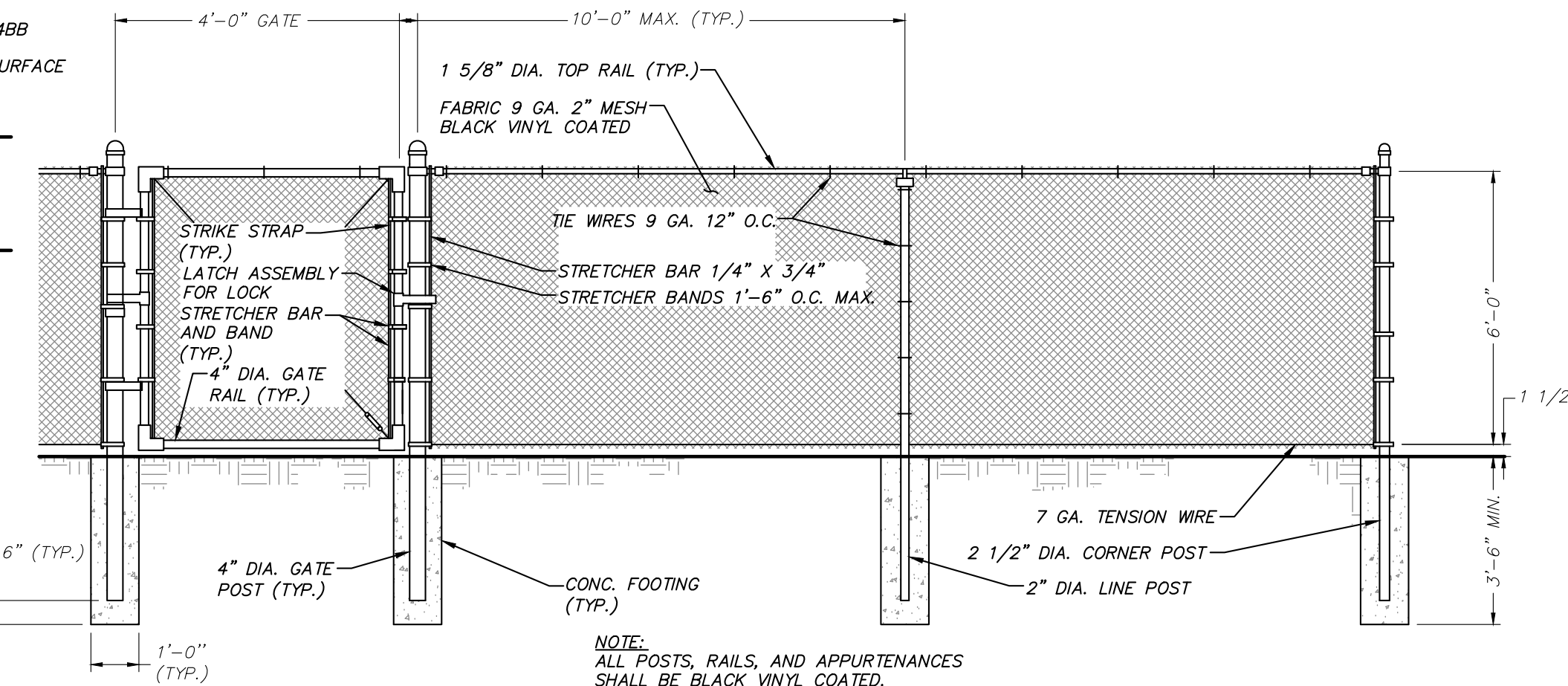


NYSDOT PAVEMENT SECTION DETAIL (N.T.S.)



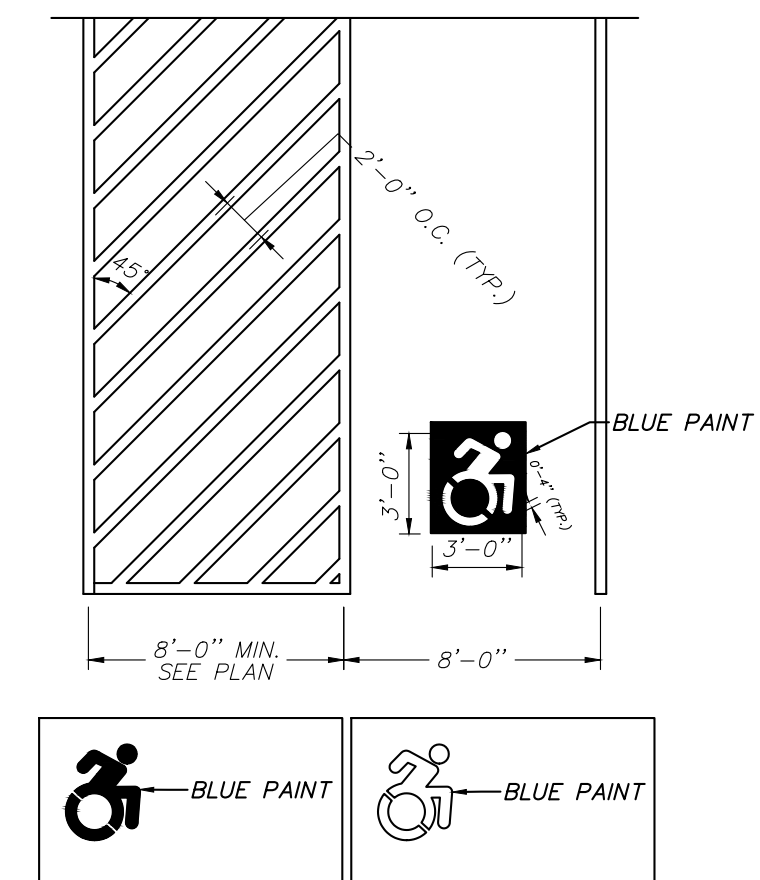
SITE CONCRETE CURB DETAIL (N.T.S.)

NOTE: ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.



CHAIN LINK FENCE DETAIL (N.T.S.)

NOTE: ALL POSTS, RAILS, AND APPURTENANCES SHALL BE BLACK VINYL COATED.



PAINTED NYS ACCESSIBLE PARKING DETAIL (N.T.S.)

NOTE: ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

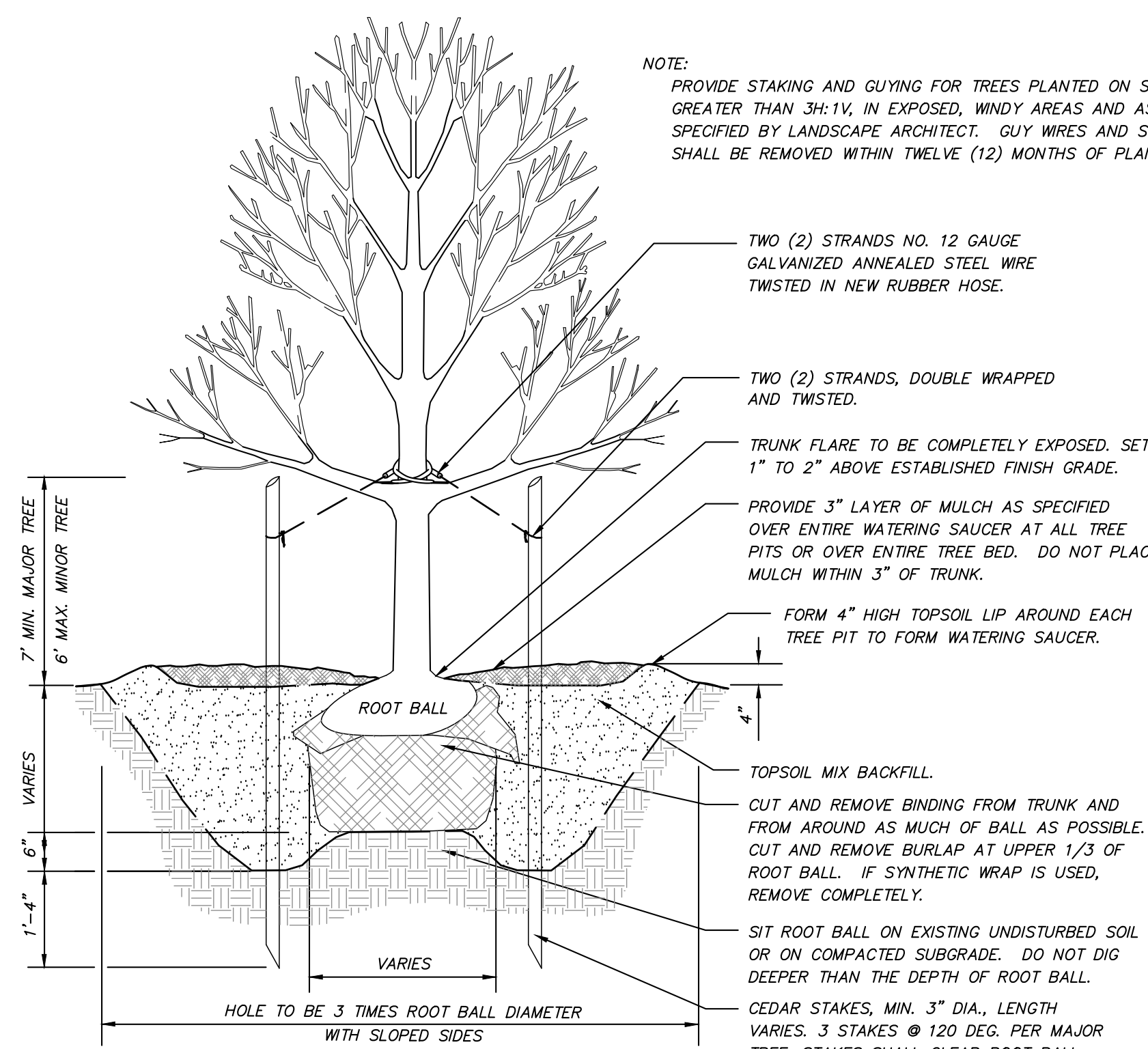
GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
  - select seed mixture per drawings and seeding notes.
  - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
  - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005. If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:
  - Seed Mix #1 for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:
    - Kentucky Bluegrass 20%
    - Creeping Red Fescue 40%
    - Perennial Ryegrass 20%
    - Annual Ryegrass 20%
  - Seed Mix #2 for areas as shown on the drawings, including tops of berms and back slopes of embankments of stormwater basins at a rate of 25 lbs. per acre: New England Conservation/Wildlife Mix from New England Wetland Plants, Inc. of Amherst, MA.
  - Seed Mix #3 for areas as shown on the drawings in stormwater basins with no standing water at a rate of 18 lbs. per acre: Erosion Control/Restoration Mix for Detention Basins and Moist Sites from New England Wetland Plants, Inc. of Amherst, MA.
- Seed mixes to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative.
- Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseding shall be performed using materials and methods as approved by the site engineer.

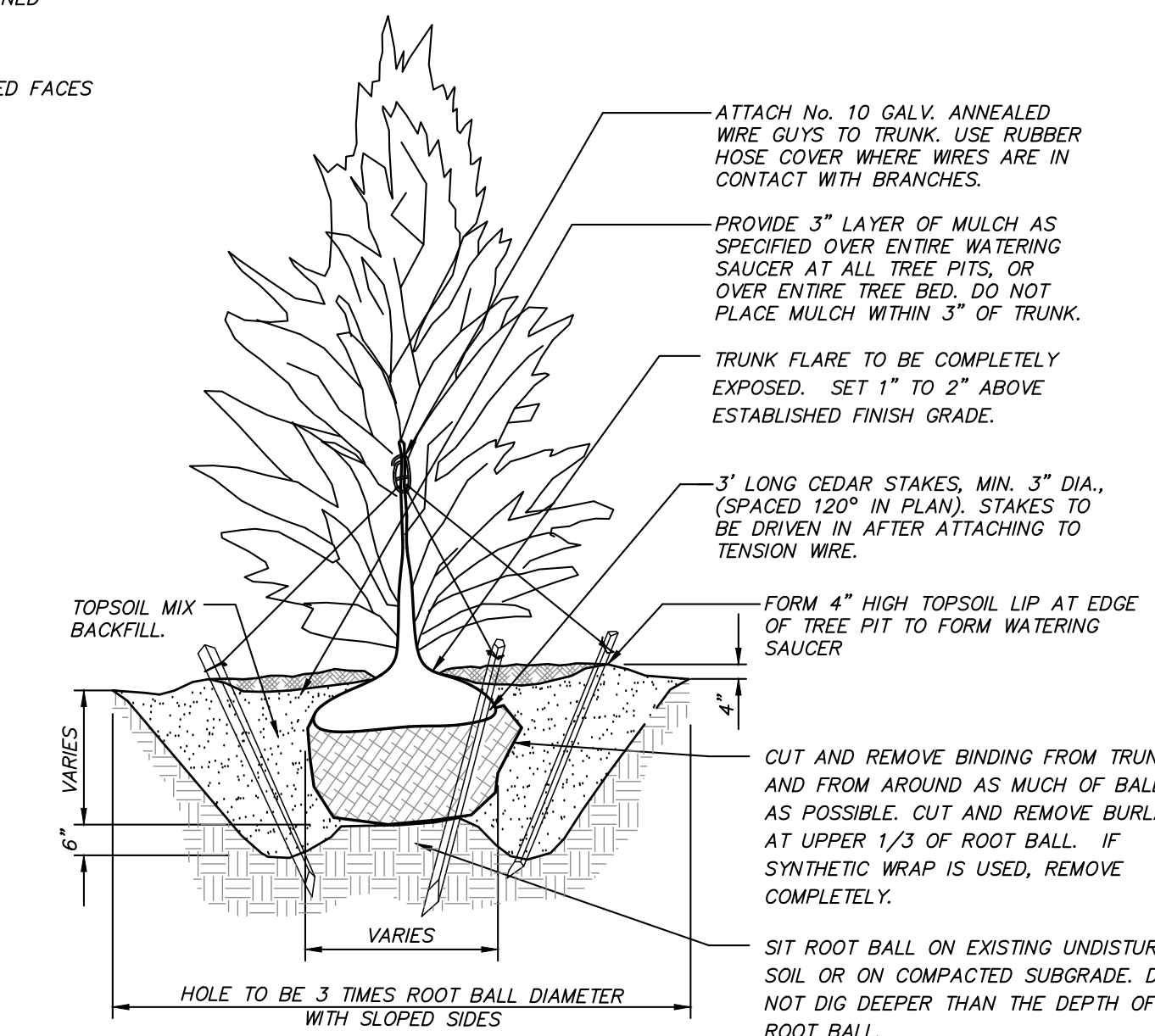
GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

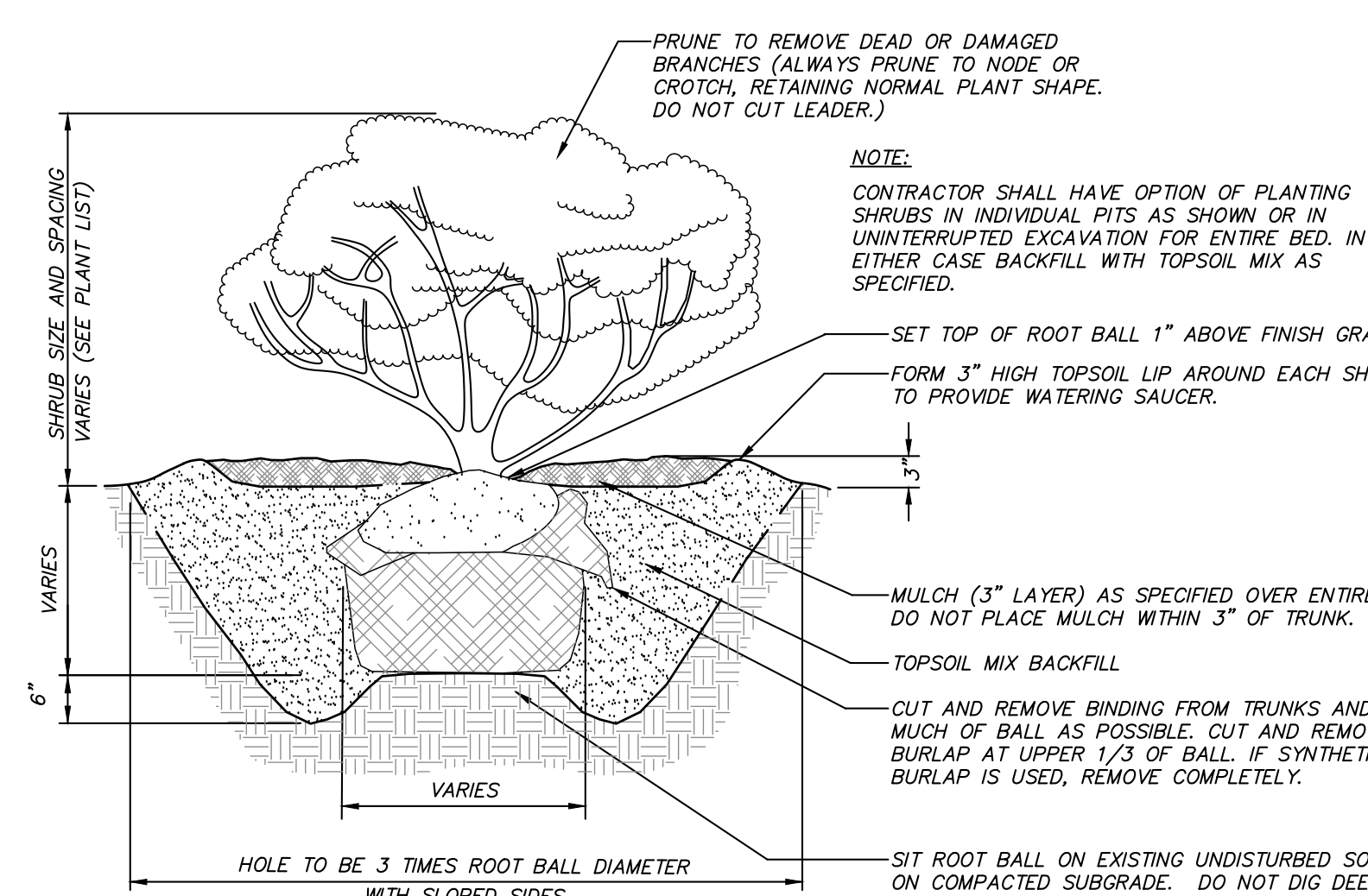


TREE PLANTING DETAIL (N.T.S.)



EVERGREEN TREE PLANTING DETAIL (N.T.S.)

NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.



SHRUB PLANTING DETAIL (N.T.S.)

NOTE: CONTRACTOR SHALL HAVE OPTION OF PLANTING SHRUBS IN INDIVIDUAL PITS AS SHOWN OR IN UNINTERRUPTED EXCAVATION FOR ENTIRE BED. IN EITHER CASE BACKFILL WITH TOPSOIL MIX AS SPECIFIED.

NO.	DATE	REVISION	BY
PROJECT:		DAIN LUMBER	
DRAWING:		DETAILS	
PROJECT NUMBER	22217.100	PROJECT MANAGER	J.M.W.
DATE	11-3-22	DRAWN BY	S.M.R.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.		SHEET	
D-1		6	





**REQUIRED SWPPP CONTENTS PER GP-0-20-001:**

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

- a. Background information: The subject project consists of demolition of an existing building, construction of two new buildings and the expansion of a contractor's outdoor storage yard.
- b. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- c. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Riverhead loam (RhB) and Charlton fine sandy loam (ChB), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B" and "A."
- d. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- e. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
- f. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided hereon identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- g. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.

- h. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- i. An inspection schedule: Inspections are to be performed once weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
- j. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and waterproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.

- k. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- l. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

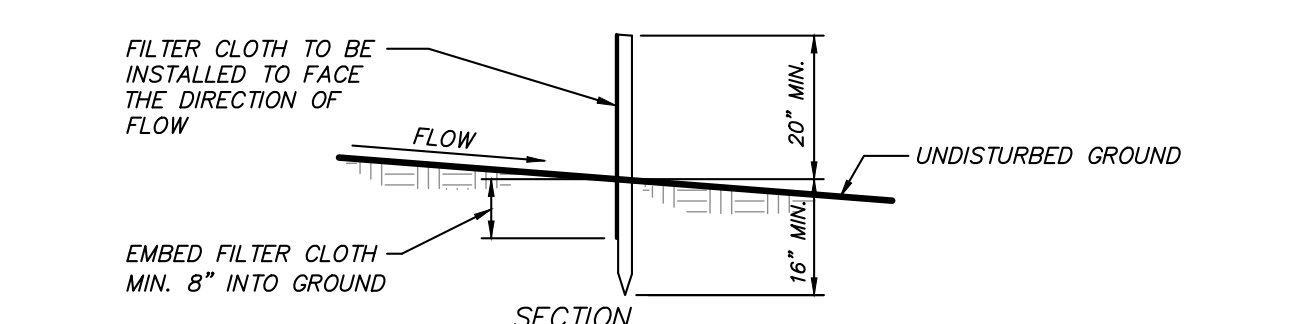
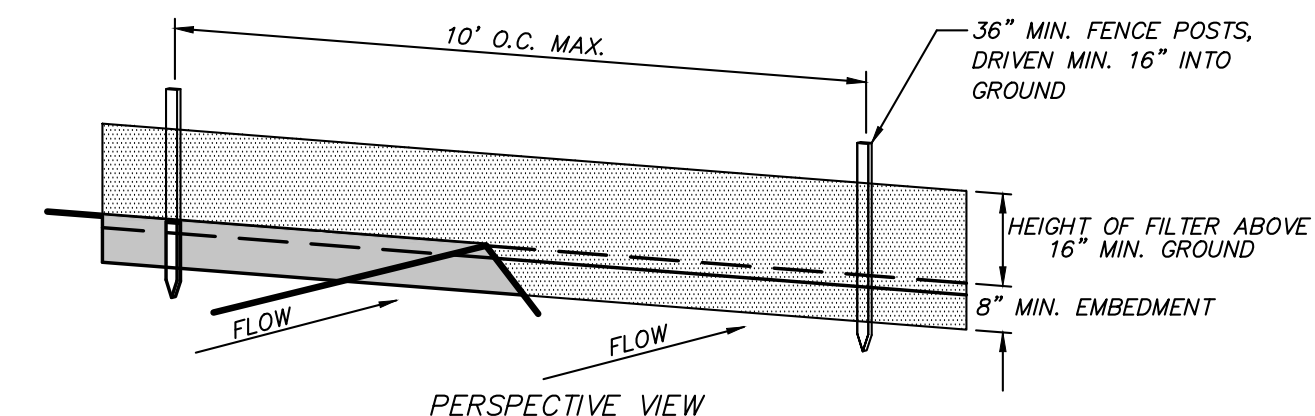
2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2a-f and III.B.3:

- a. Identification of all post-construction stormwater management practices to be constructed as part of the project: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Amended Stormwater Pollution Prevention Plan for 3622 Rt 9.
- d. Soil testing results and locations: This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for 3622 Rt 9.
- e. Infiltration testing results: This SWPPP requirement is provided in the report titled Amended Stormwater Pollution Prevention Plan for 3622 Rt 9.
- f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.

**EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE**

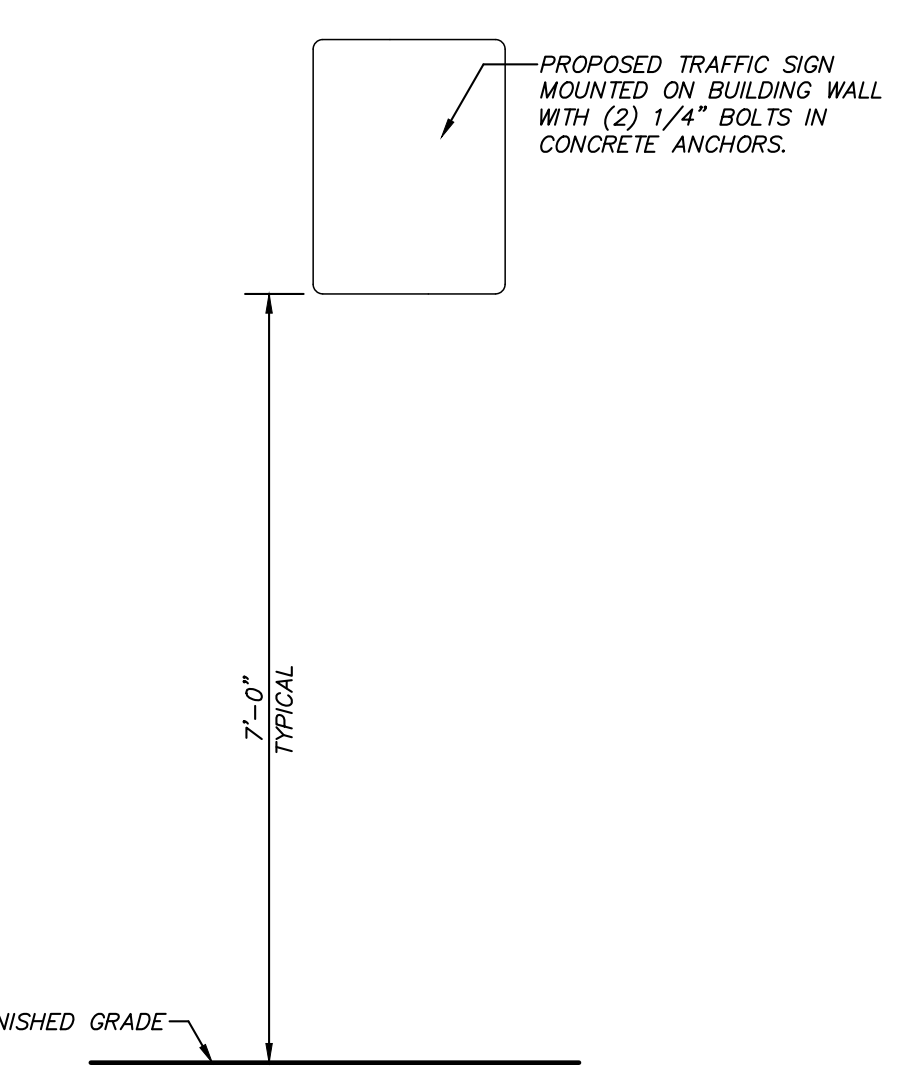
PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
SWALES	-	Inspect	Inspect	Clean/Mulch/Repair	Mow Permanent Grass/Replace/Repair Rip Rap
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean
*STORMWATER TRAP/BASIN	-	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule on Drawing SP-3.1

\* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is:  
3622 Route 9 LLC  
108 Hudson Pointe Dr  
Poughkeepsie, NY 12601  
and/or the current owner(s) of the subject property.

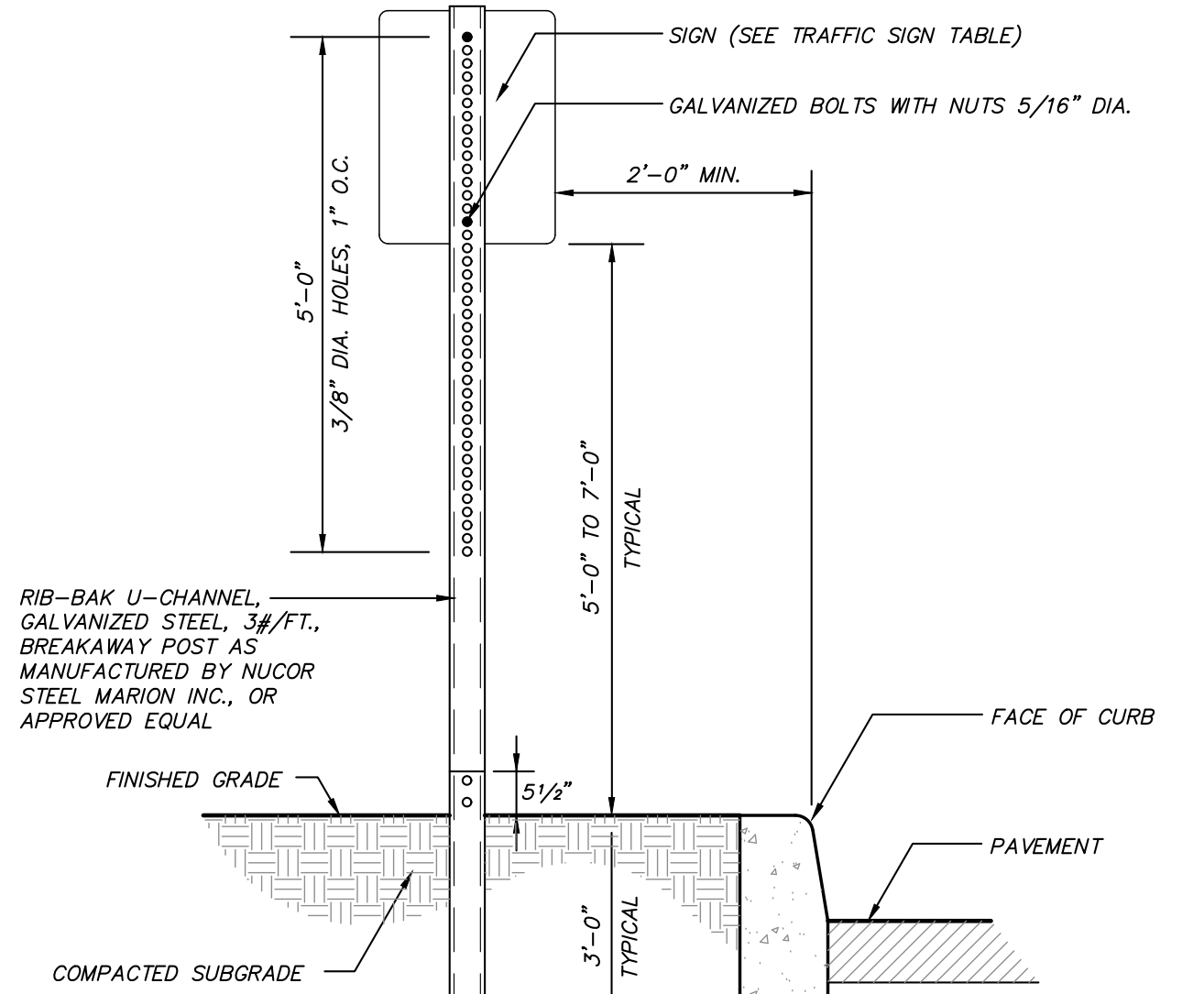


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
  2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

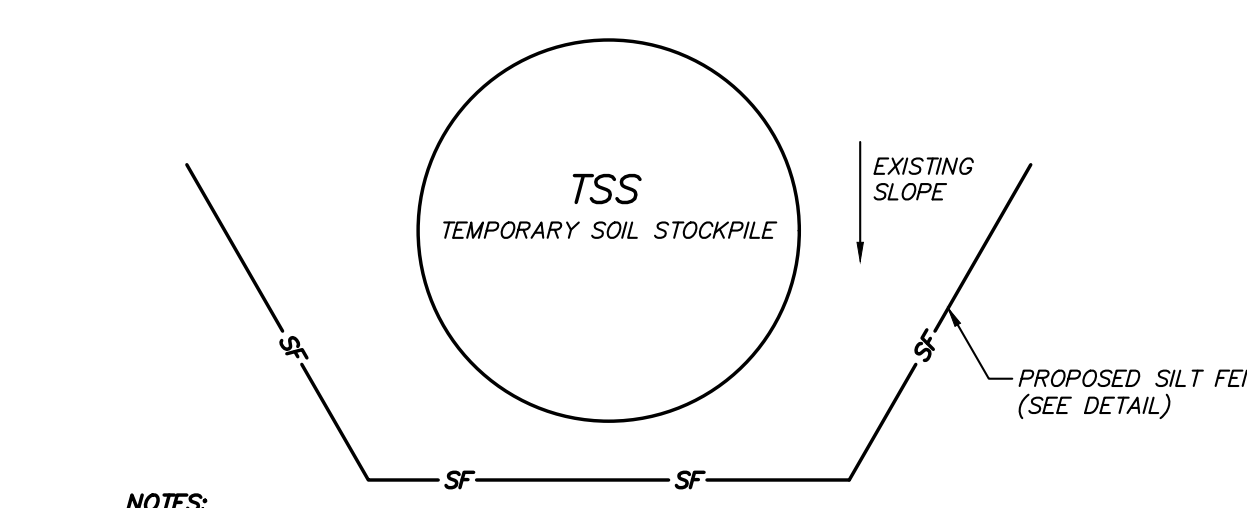
**SILT FENCE DETAIL**  
(N.T.S.)



**BUILDING MOUNTED SIGN DETAIL**  
(N.T.S.)

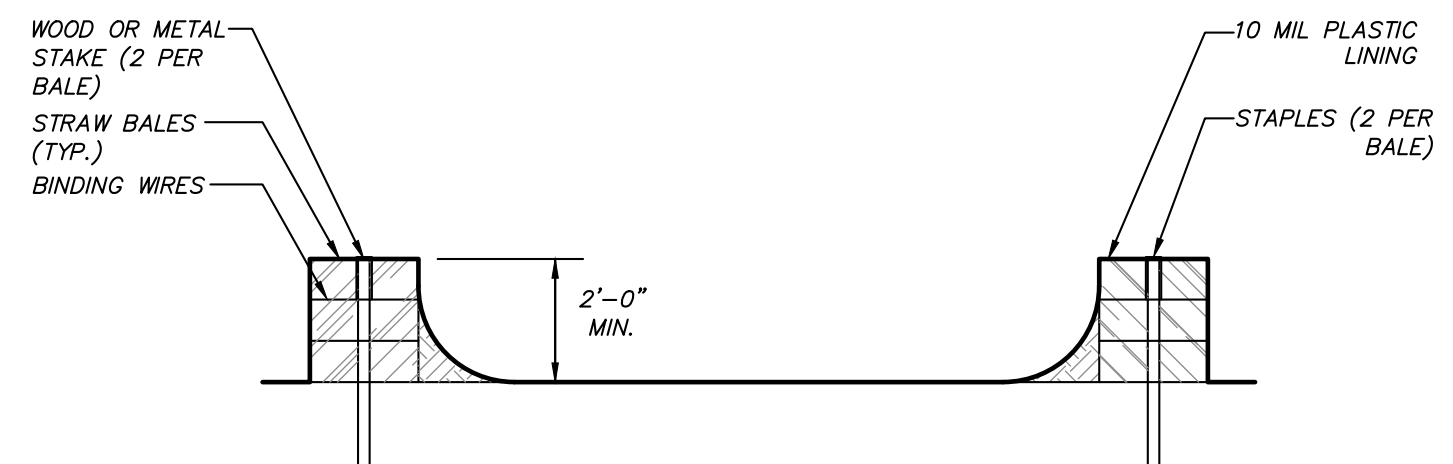


**TRAFFIC SIGN DETAIL**  
(N.T.S.)

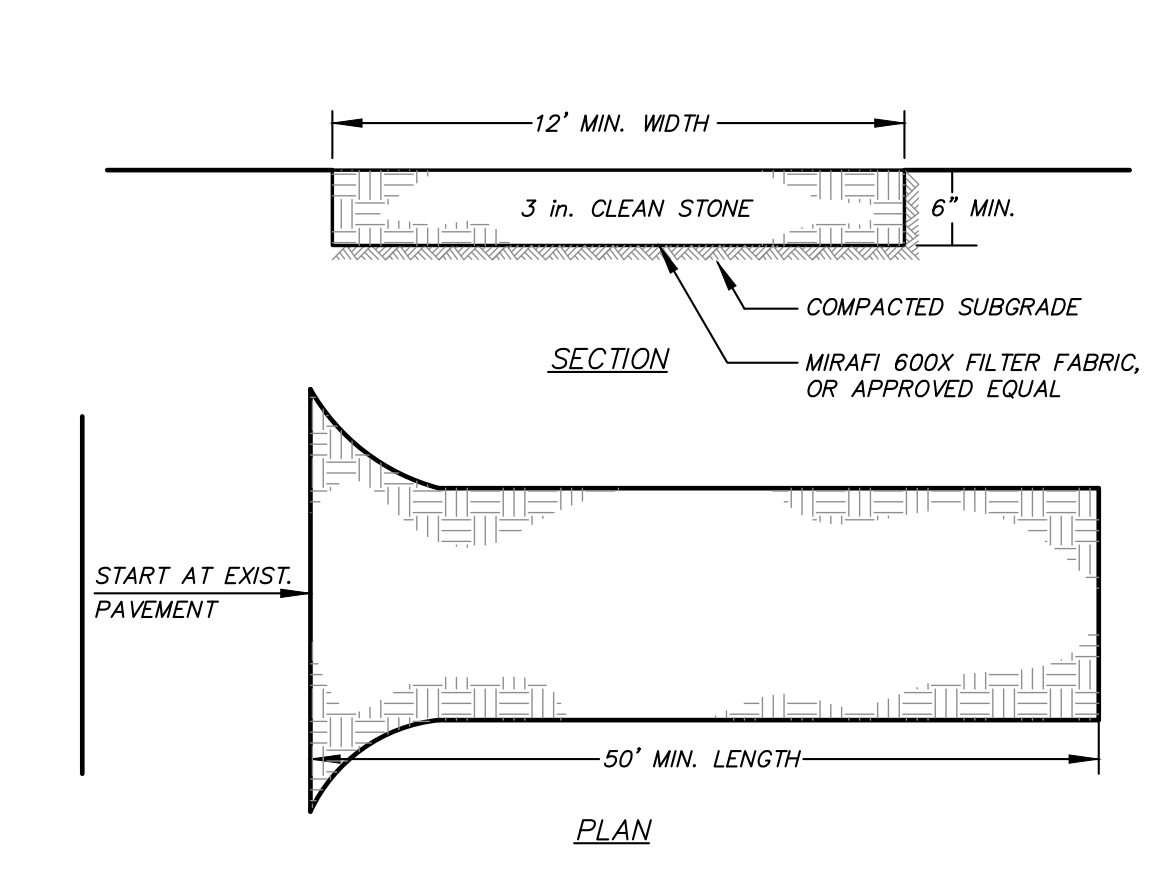


- NOTES:**
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
  4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

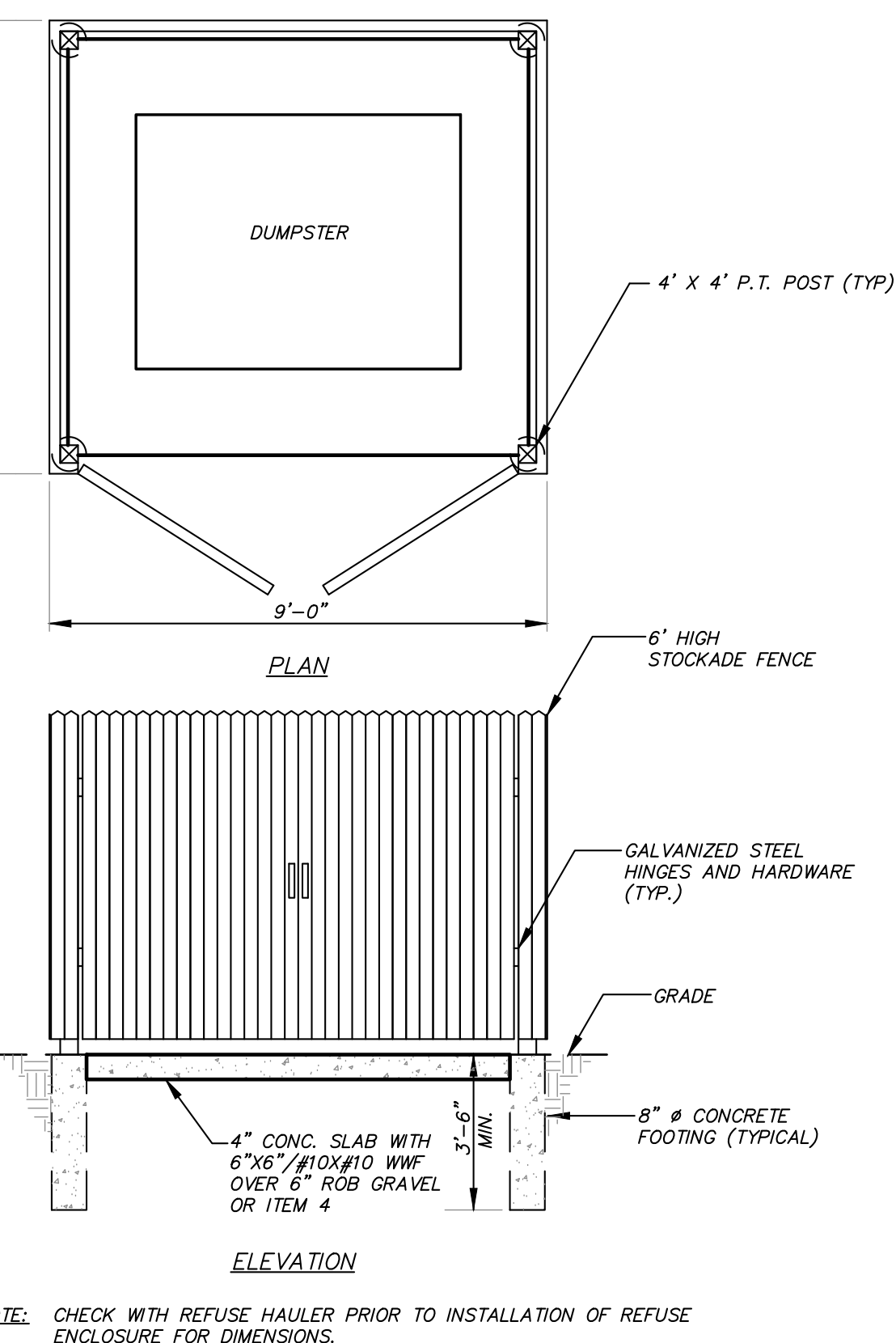
**TEMPORARY SOIL STOCKPILE DETAIL**  
(N.T.S.)



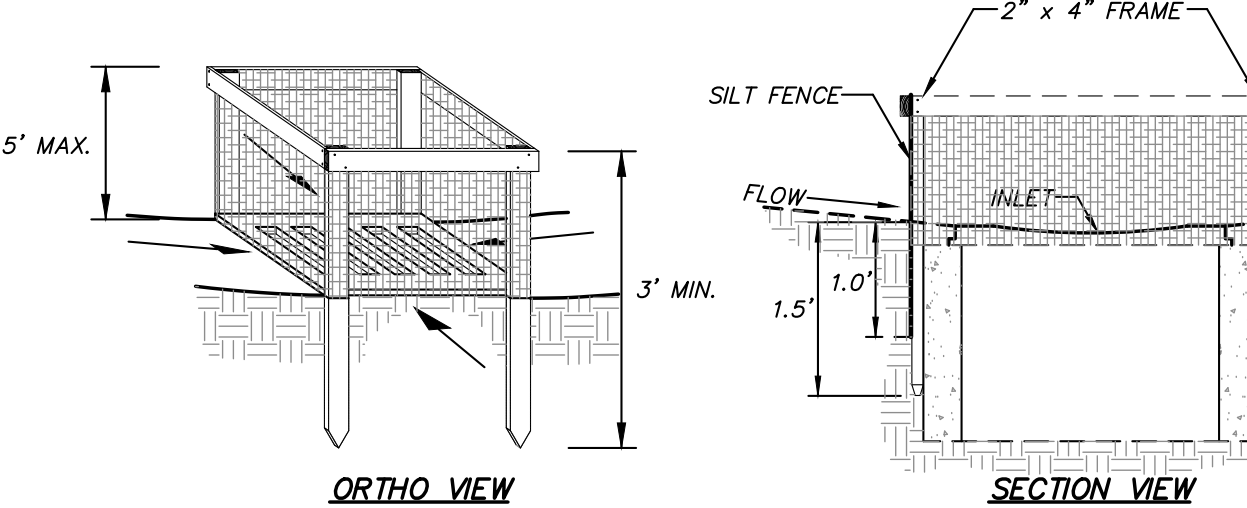
**CONCRETE WASHOUT AREA DETAIL**  
(N.T.S.)



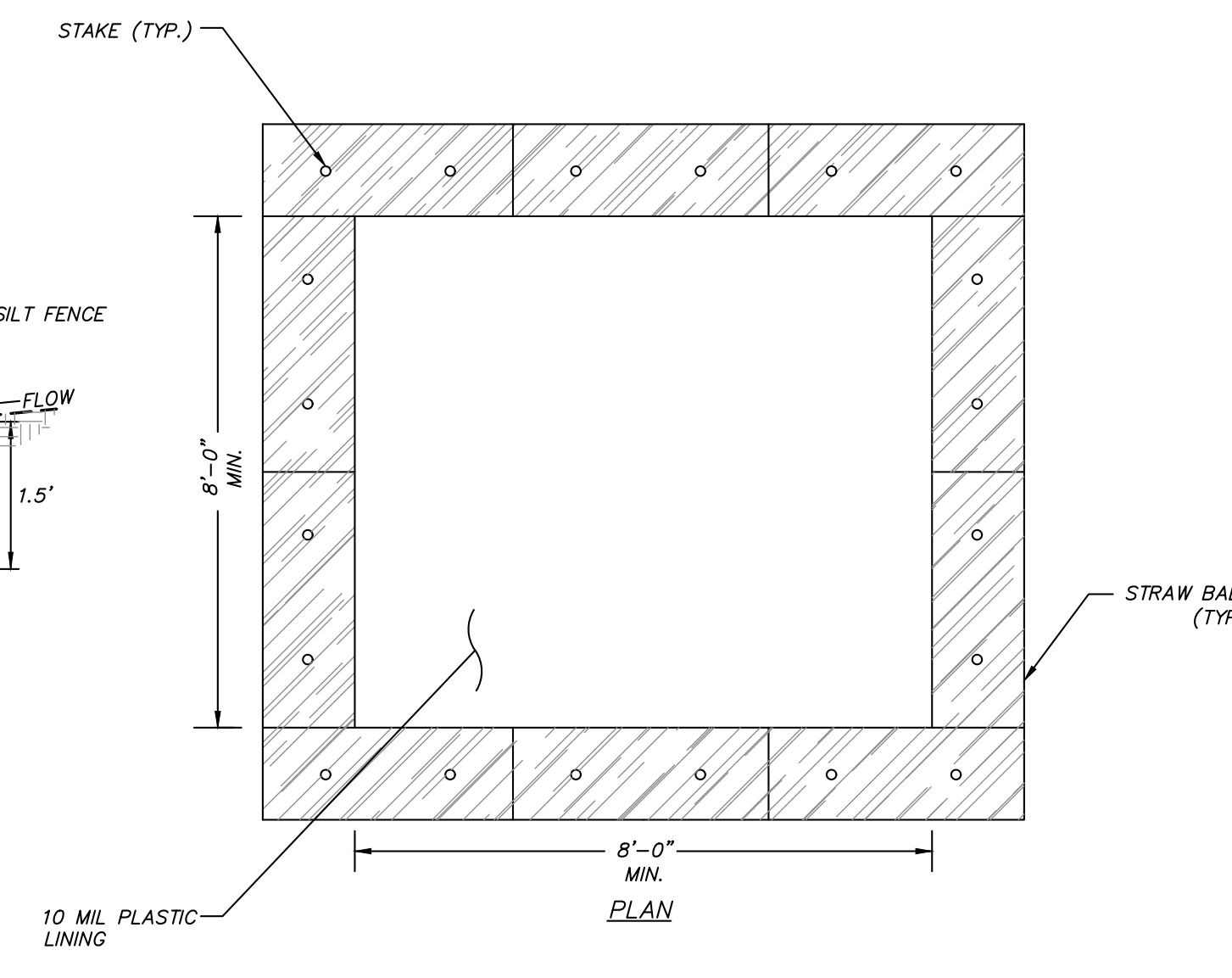
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
(N.T.S.)



**DUMPSTER ENCLOSURE DETAIL**  
(N.T.S.)



**FILTER FABRIC INLET PROTECTION DETAIL**  
(N.T.S.)



**GRASS SWALE DETAIL**  
(N.T.S.)

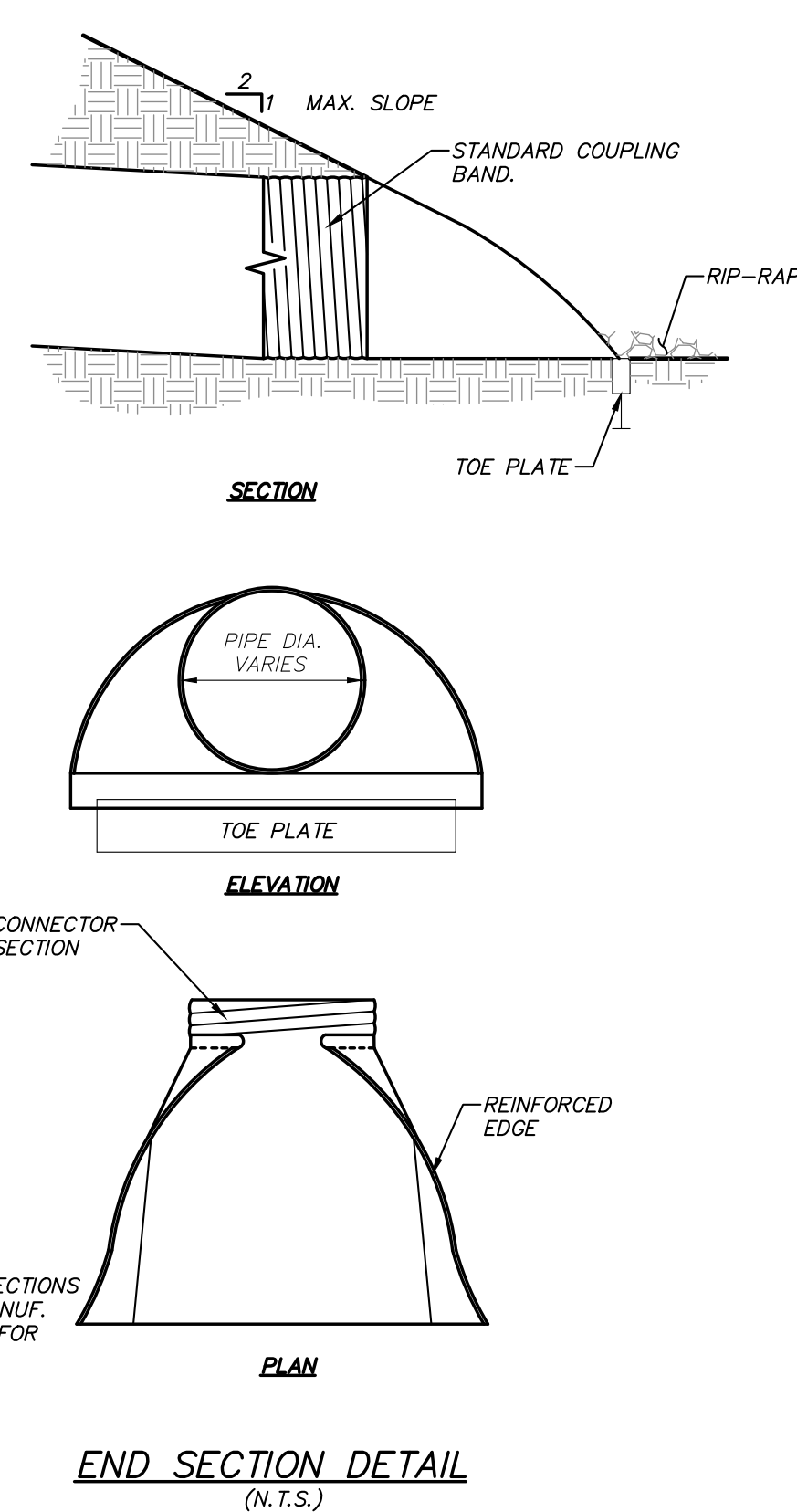
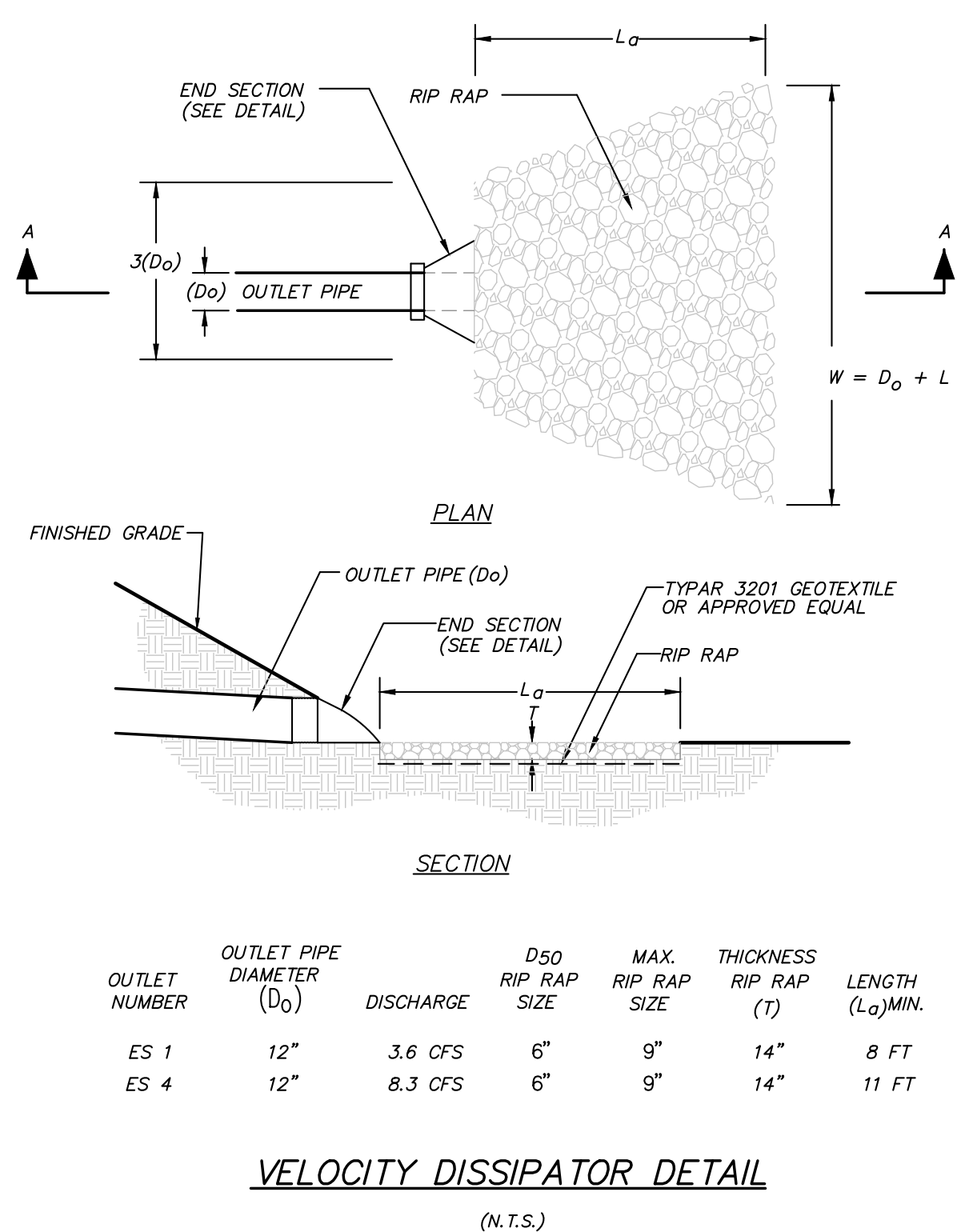
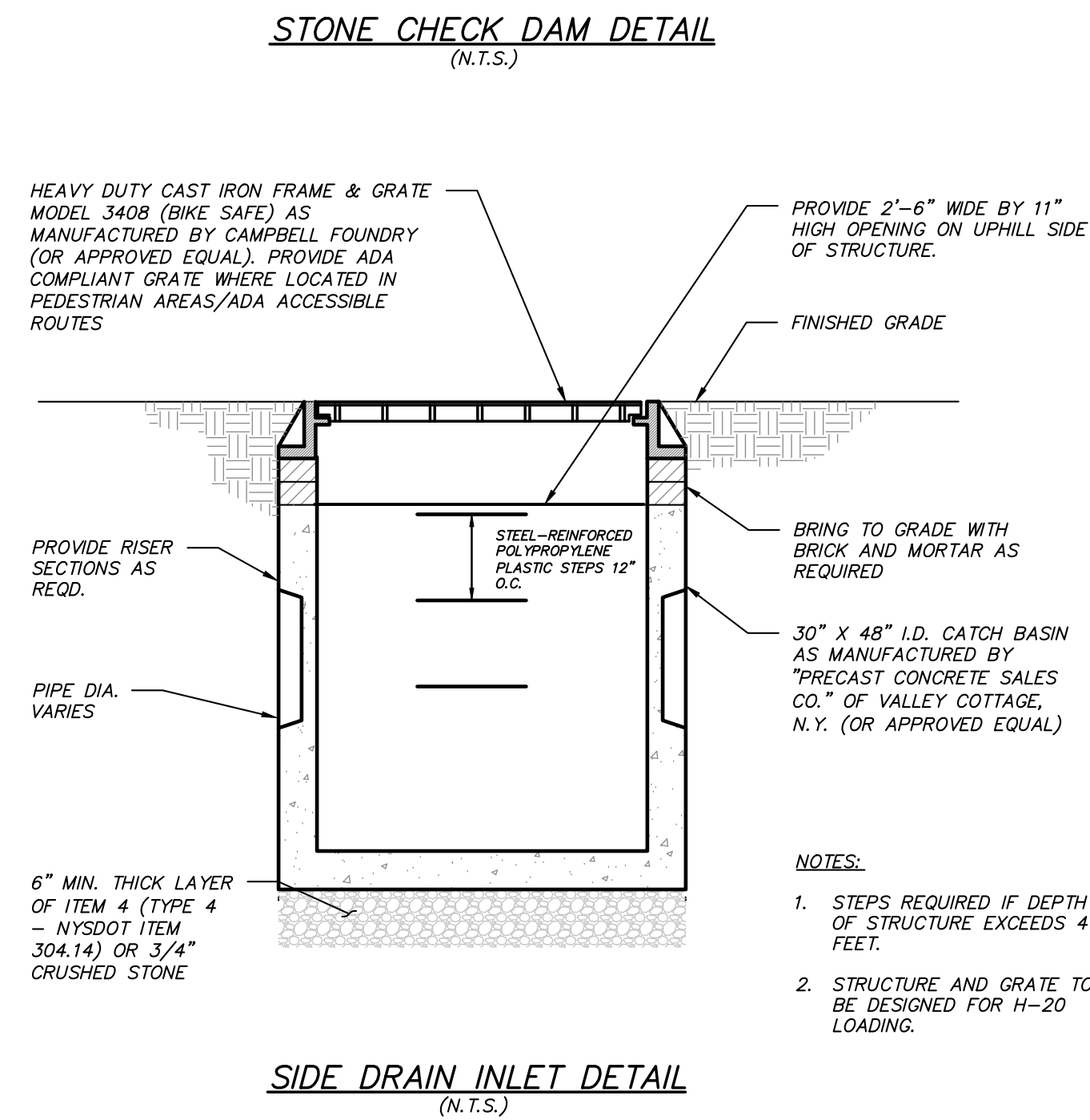
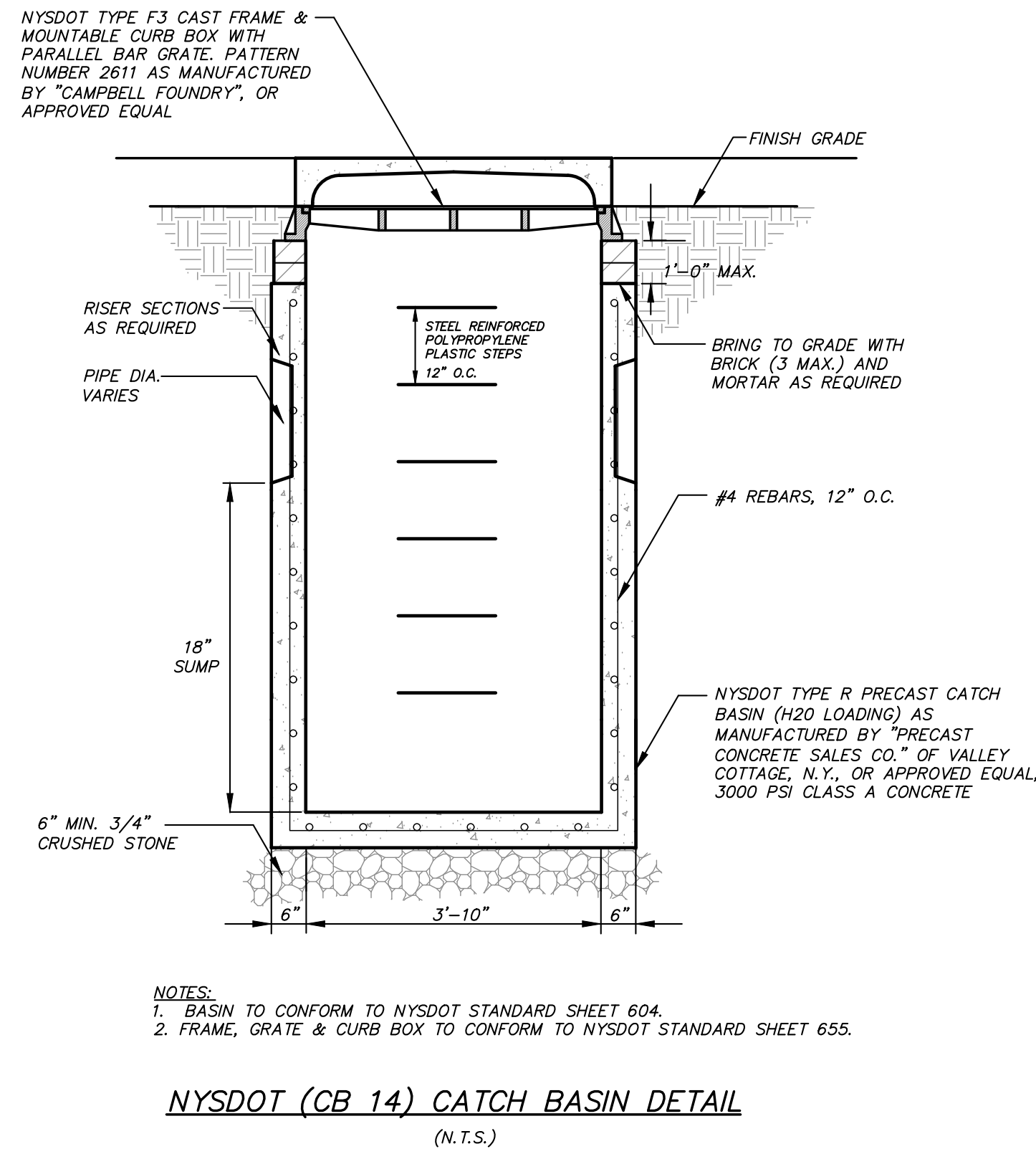
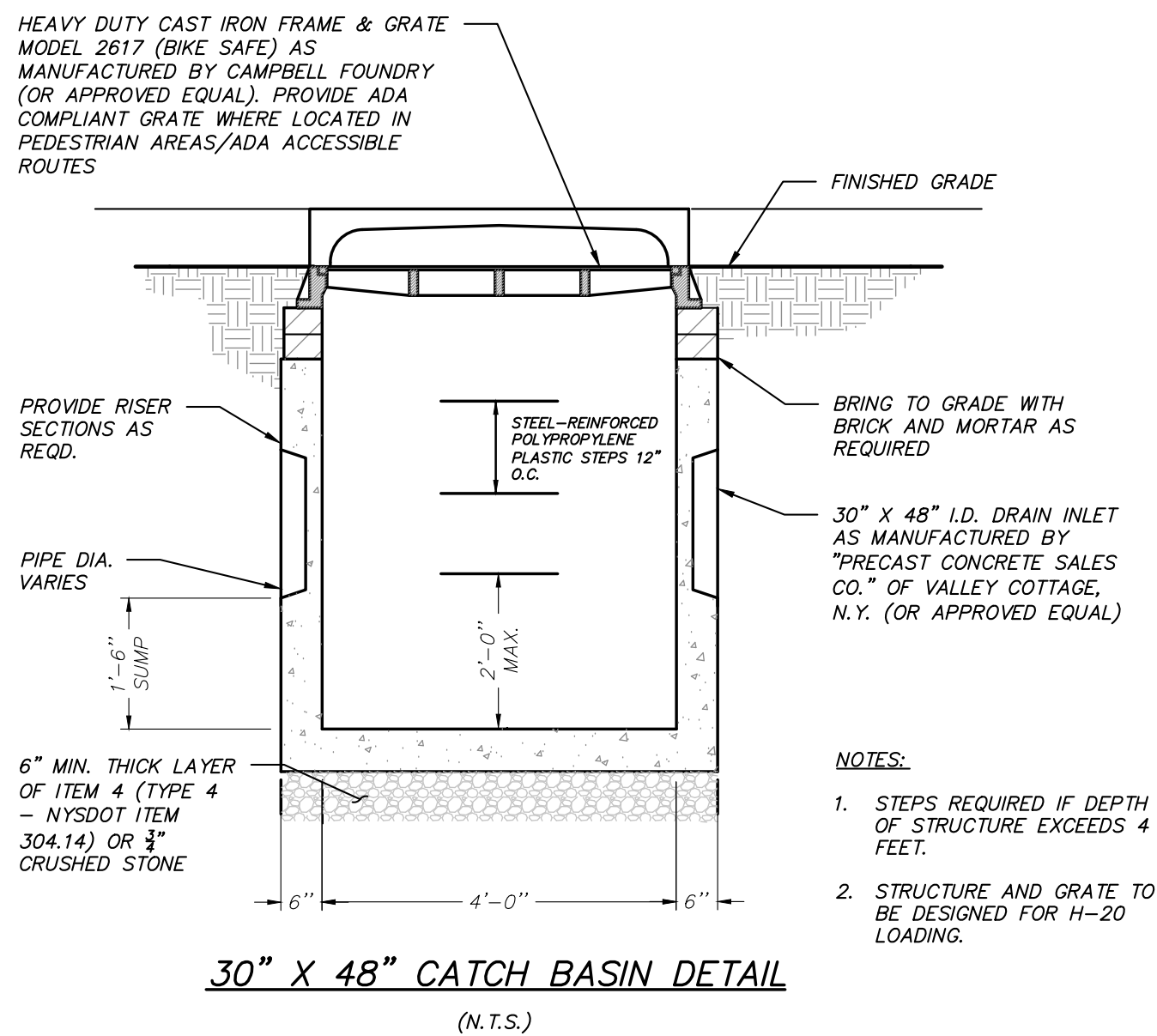
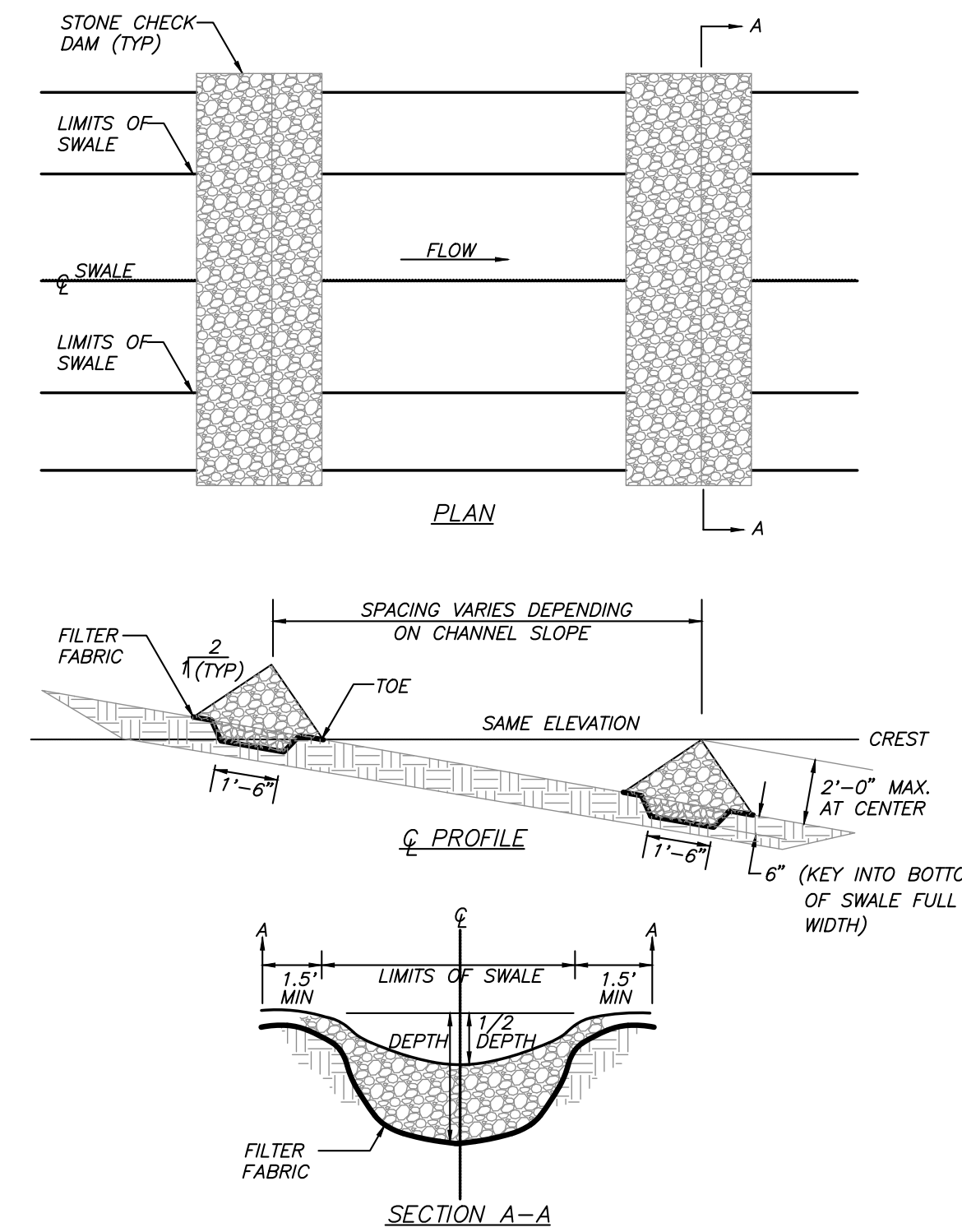
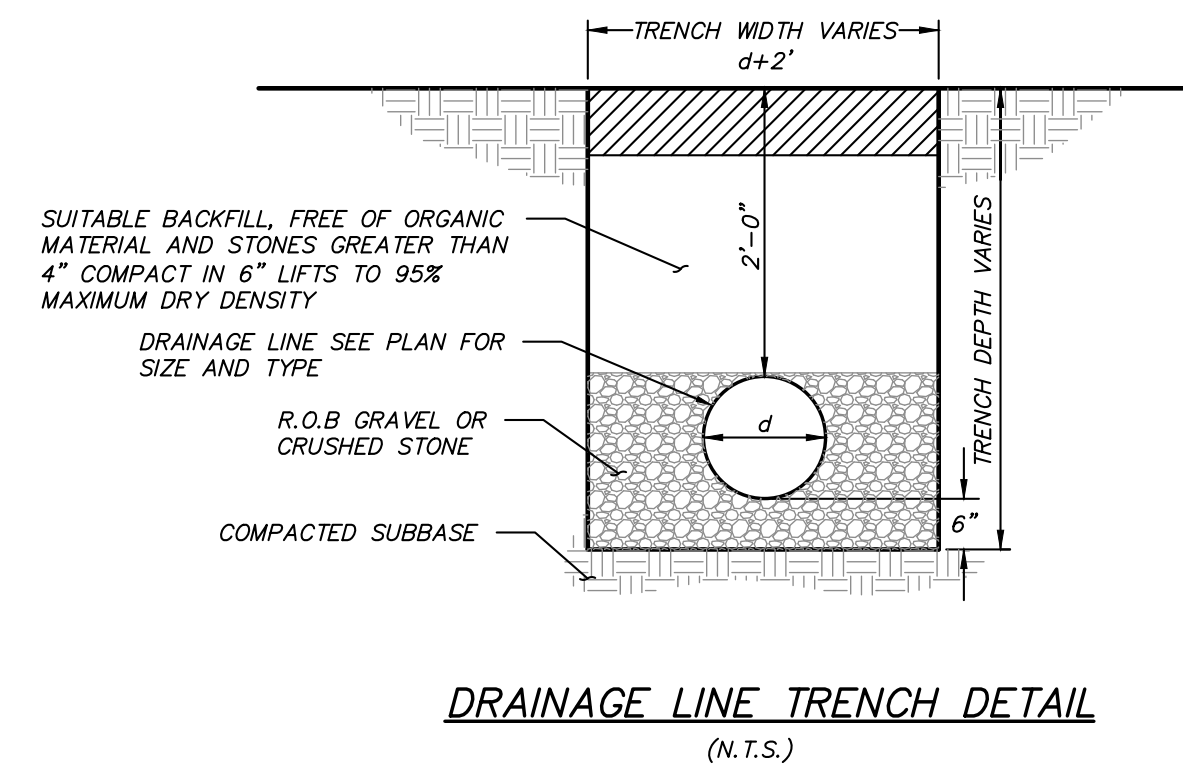
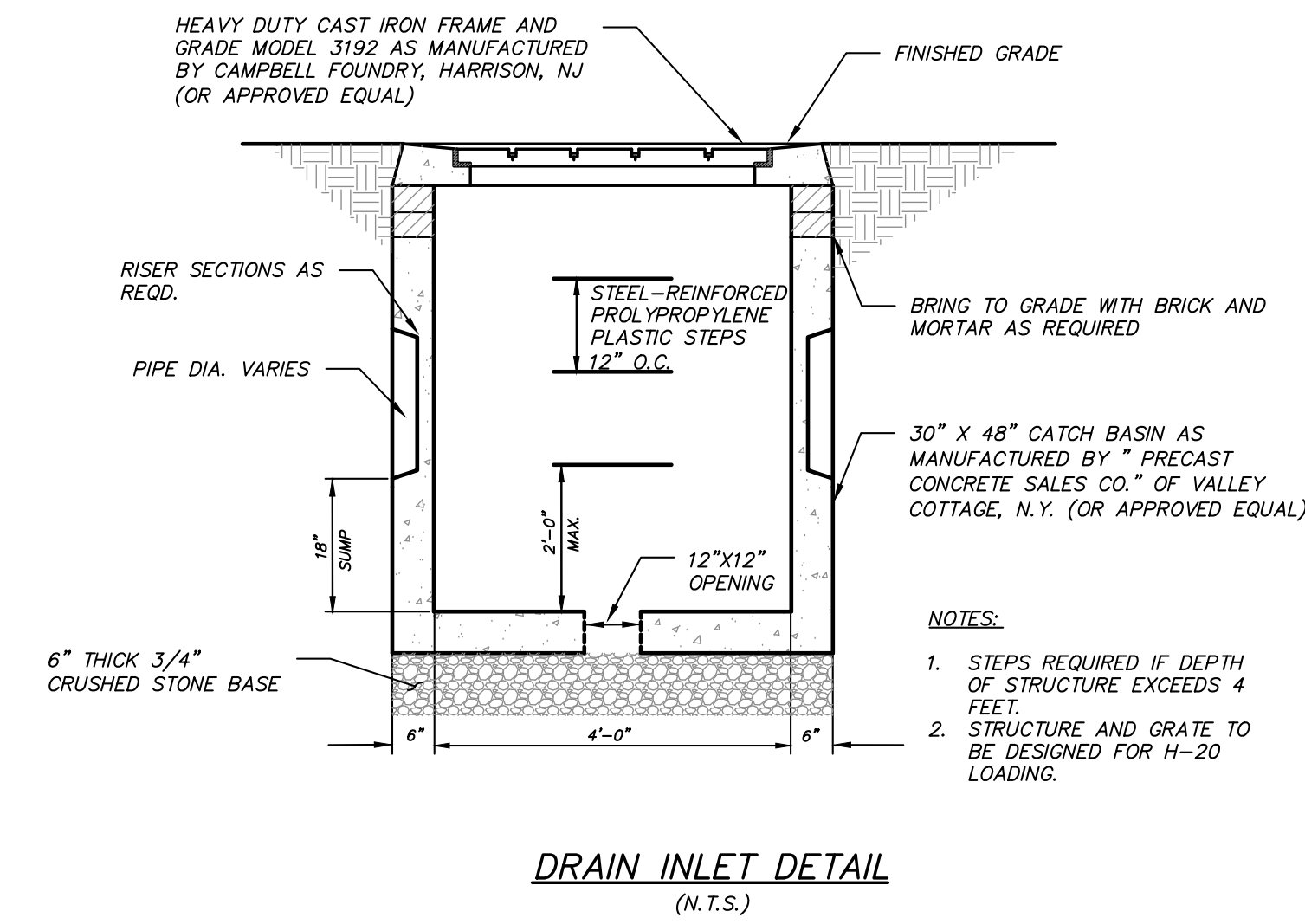
- INSTALLATION NOTES**
1. STONE SIZE - USE 3" STONE
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- INSTALLATION NOTES**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAYBE USED FOR SHORT TERM APPLICATIONS.
  2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE

- NOTES**
1. TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 8 FT.
  2. THE WASHOUT WILL BE MINIMUM OF 100 FT FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
  3. PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

NO.	DATE	REVISION	BY
PROJECT:		DAIN LUMBER	
DRAWING:		DETAILS	
PROJECT NUMBER	22217.100	PROJECT MANAGER	J.M.W.
DATE	11-3-22	DRAWN BY	S.M.R.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.		SHEET	
3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK		D-2	
DRAWING NO.		7	
SHEET		8	





**PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE**

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 to 10 YEARS
GRASS SWALES	Inspect first few months after construction for eroding soils & slumpage & repair immediately	-	Inspect & clean Mow & remove debris & litter. Revegetate as needed.	-	Inspect for & remove accumulated sediment
DRAINAGE STRUCTURES	-	Side drain inlets shall be inspected and any accumulated sediment in sump shall be removed.	Inspect all structures for damage to frame and grate & pipe inlets/outlets. Clean accumulated sediment in sump.	-	-
STORMWATER BASINS	Inspect first few months after construction for eroding soils & slumpage & repair immediately	Inspect orifices, inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion, & stabilize and/or repair immediately	Mow berms and exterior embankments Remove debris & litter from basins & outlet structures. Remove sediment if accumulated greater than an 1"	-	Inspect for & remove accumulated sediment

Notes: The party responsible for implementation of the maintenance schedule during and after construction is:  
3622 Route 9, LLC  
58 Kingwood Drive  
Poughkeepsie, NY 12601  
and/or the current owner(s) of the subject property.

NO.	DATE	REVISION	BY
PROJECT: <b>DAIN LUMBER</b> 3622 ROUTE 9, TOWN OF PHILIPSTOWN, PUTNAM COUNTY, NEW YORK			
DRAWING: <b>DETAILS</b>			
PROJECT NUMBER	22217.100	PROJECT MANAGER	J.M.W.
DATE	11-3-22	DRAWN BY	S.M.R.
SCALE	AS SHOWN	CHECKED BY	A.D.T.
DRAWING NO.		SHEET	
D-3		8/8	