



**OPEN SPACE  
INSTITUTE  
LAND TRUST**

**VIA EMAIL ONLY**

February 14, 2022

John Sadlon & Sven Wenske  
529 West 42nd Street  
Apartment 6G  
New York, NY 10036

Re: Proposed Development on Lot 71.-1-13.111

Dear John and Sven:

As you are aware, a Conservation Easement ("CE") dated July 14, 2021 and held by the Open Space Institute Land Trust ("OSI") encumbers your property located at 825 Route 9D in the Town of Philipstown, Putnam County, New York. The purpose of the CE is to conserve the natural, scenic, historic, and aesthetic character of the property while providing for its compatible residential and recreational use. As such, Article Five restricts the number of structures on the property to a single, residential structure and customary accessory structures that are sited, designed, constructed, and landscaped so as to reasonably minimize visual impacts.

After reviewing the attached drawing set dated February 3, 2022 ("Plans") we have concluded that the proposed construction shown on the Plans is consistent with the purpose and restrictions set forth by the Conservation Easement.

Please do not hesitate to reach out if the Plans are modified or if you need further clarification or guidance as you build your new home. Upon completion, please contact me directly to schedule a time for OSI staff to document the new construction and update our records.

Best regards,

Wilfred Nieves, Southern New York Stewardship Manager

Cc: Samayla Deutch, Senior Vice President and General Counsel


Attachments: Sadlon/Wenske Residence Architectural Drawing Set – 2/3/2022



Overhill  
by Duncan  
Development Company  
www.overhill.com

① SITE PLAN  
1" = 50'-0"

ARCHITECT:  
**JOHN SADLON**  
 JSSW DESIGN  
 529 West 42nd Street  
 New York, NY 10036  
 (917) 673-0256

DESIGN CONSULTANT:  
  
 1129 Northern Blvd., suite 404  
 Manhasset, NY, 11030  
 (917) 348-6555

REVISIONS:

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NOTES:

SEAL:

PROJECT NUMBER: APPROVED BY:  
 JS

CLIENT:  
 John Sadlon and Sven Wenske

PROJECT NAME:  
**Sadlon/Wenske  
 Residence**

825 Route 9D,  
 Garrison, NY 10525

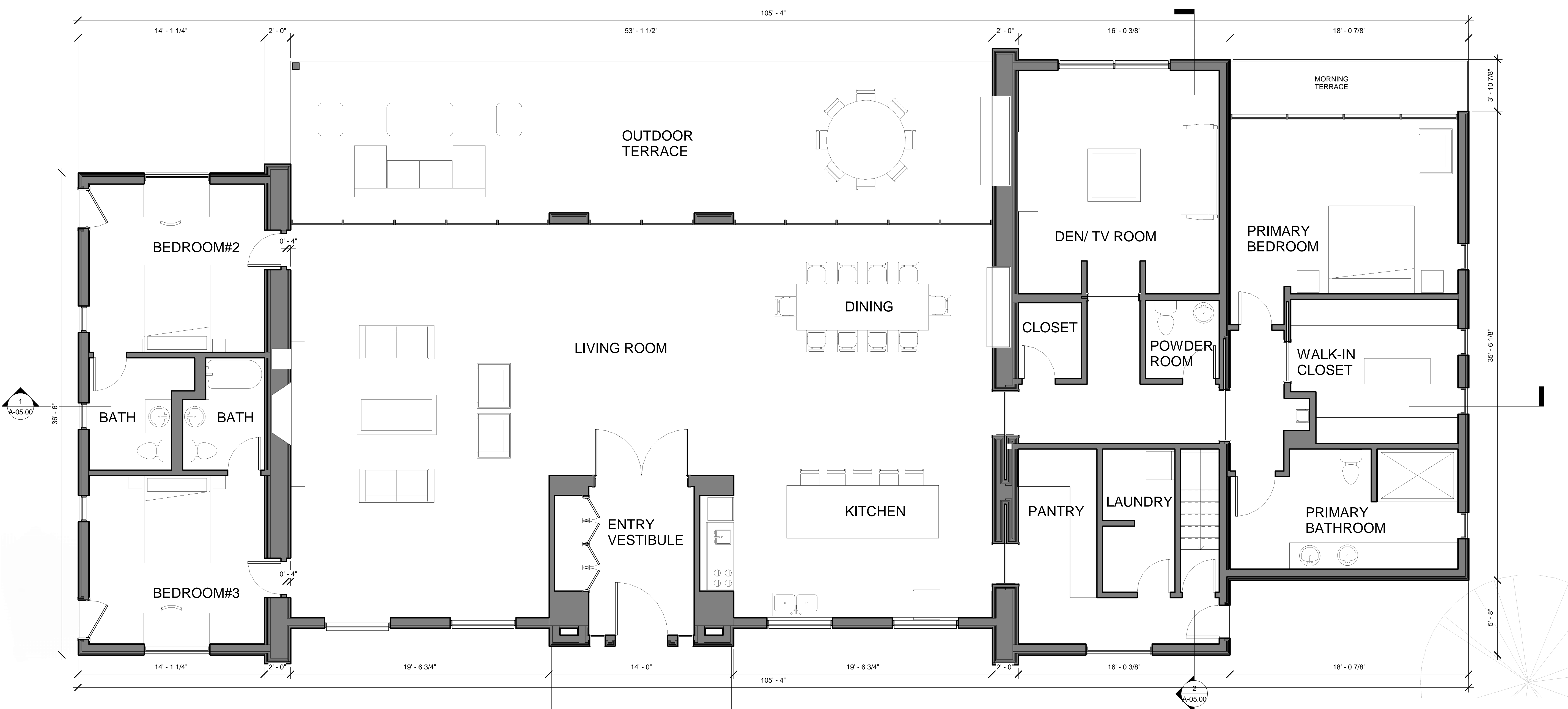
DRAWING TITLE:  
**SITE PLAN**

DRAWN BY: CHECKED BY:  
 DK SS

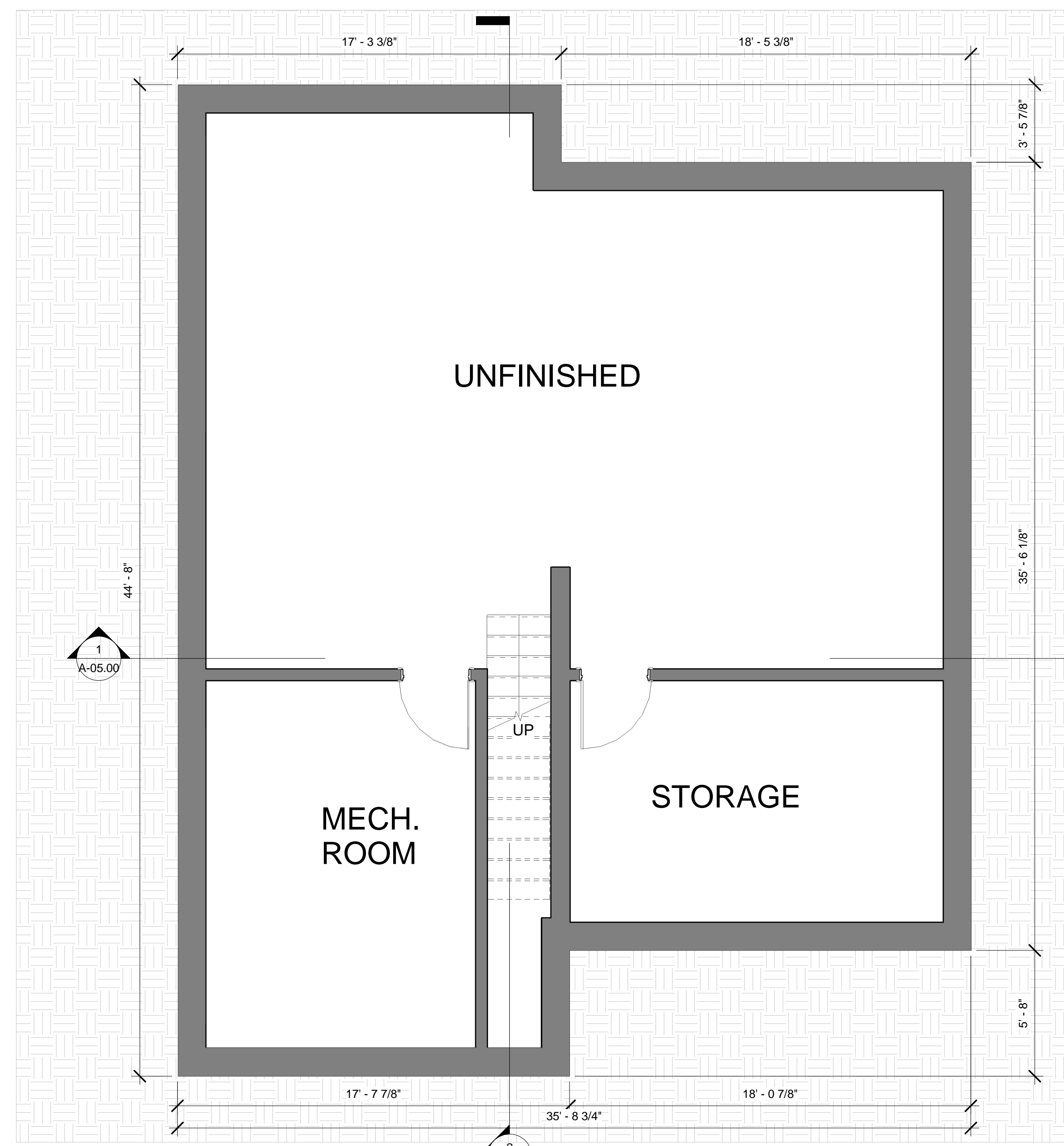
DATE: SCALE:  
 02.03.2022 1" = 50'-0"

SHEET NUMBER:  
**A-01.00**





1 MAIN BUILDING GROUND FLOOR PLAN  
1/4" = 1'-0"



2 BASEMENT FLOOR - PLAN  
1/4" = 1'-0"

ARCHITECT:  
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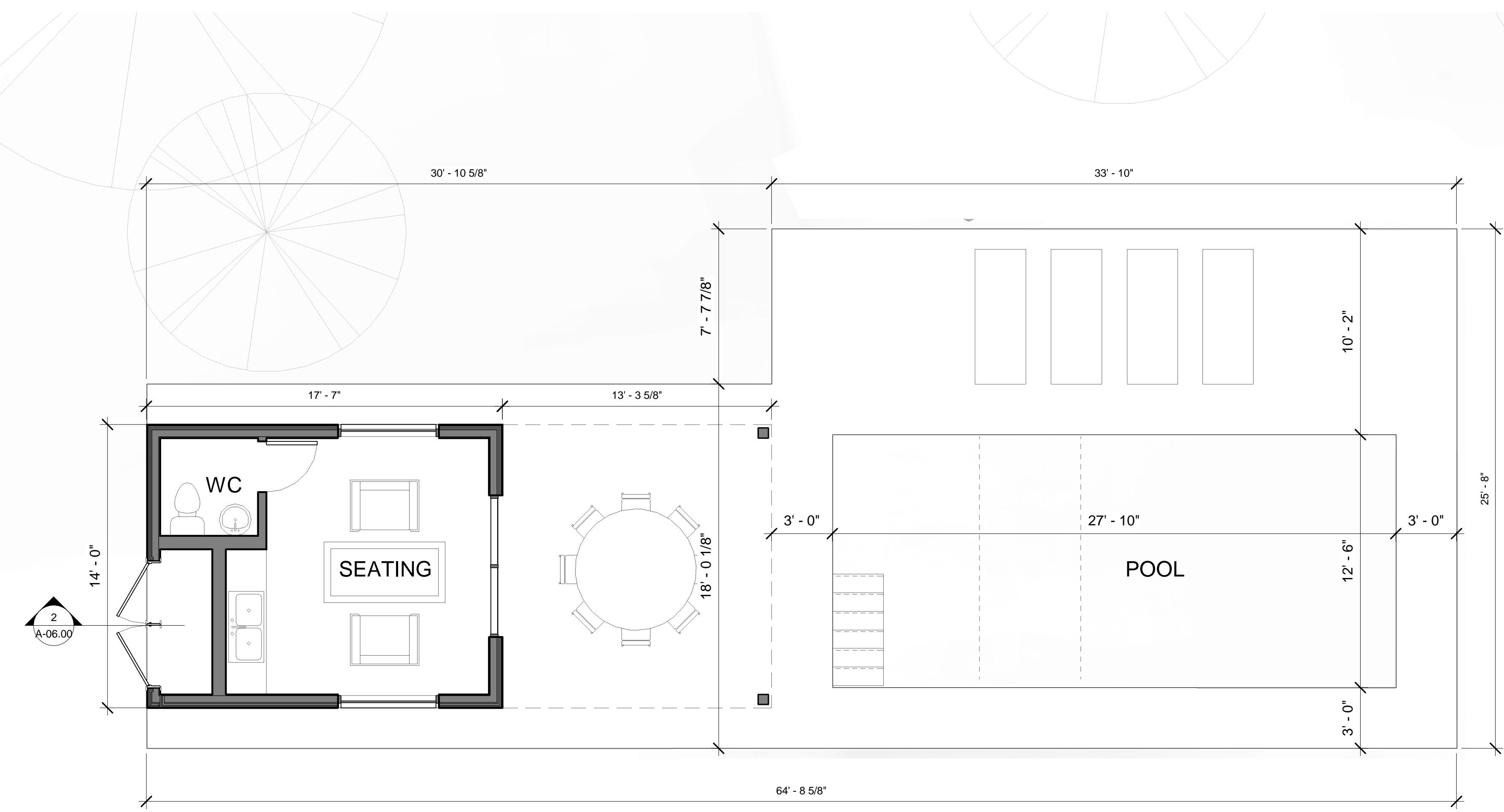
PROJECT NAME:  
**Sadlon/Wenske Residence**  
825 Route 9D,  
Garrison, NY 10525

DRAWING TITLE:  
**MAIN BUILDING GROUND AND BASEMENT FLOOR - PLAN**

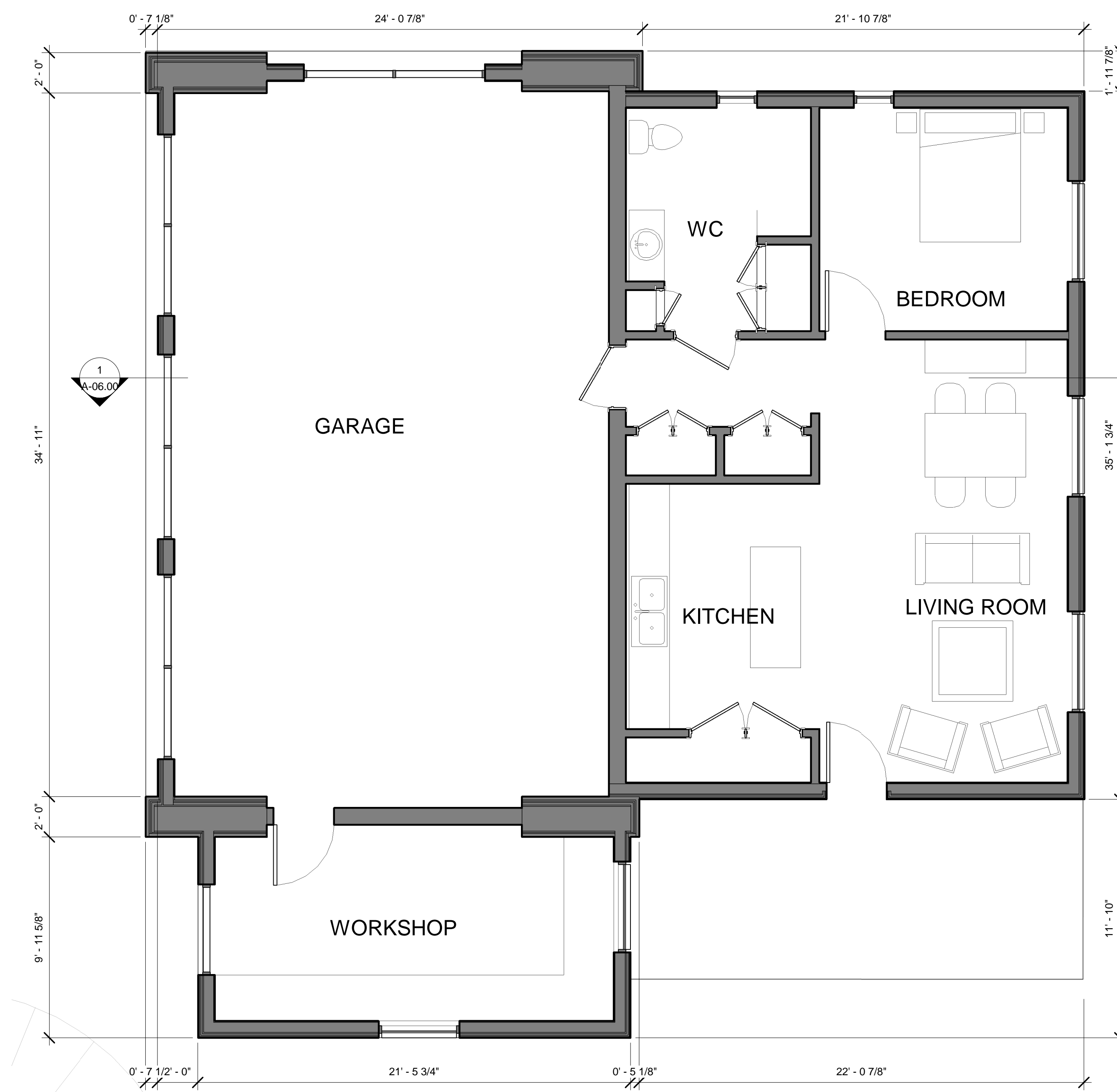
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DK SS

DATE: 02.03.2022 SCALE: 1/4" = 1'-0"

SHEET NUMBER:  
**A-03.00**



2 POOL CABANA - PLAN  
1/4" = 1'-0"



1 GARAGE AND ACCESSORY UNIT - PLAN  
1/4" = 1'-0"

ARCHITECT:  
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CLIENT:  
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PROJECT NAME:  
**Sadlon/Wenske  
Residence**

825 Route 9D,  
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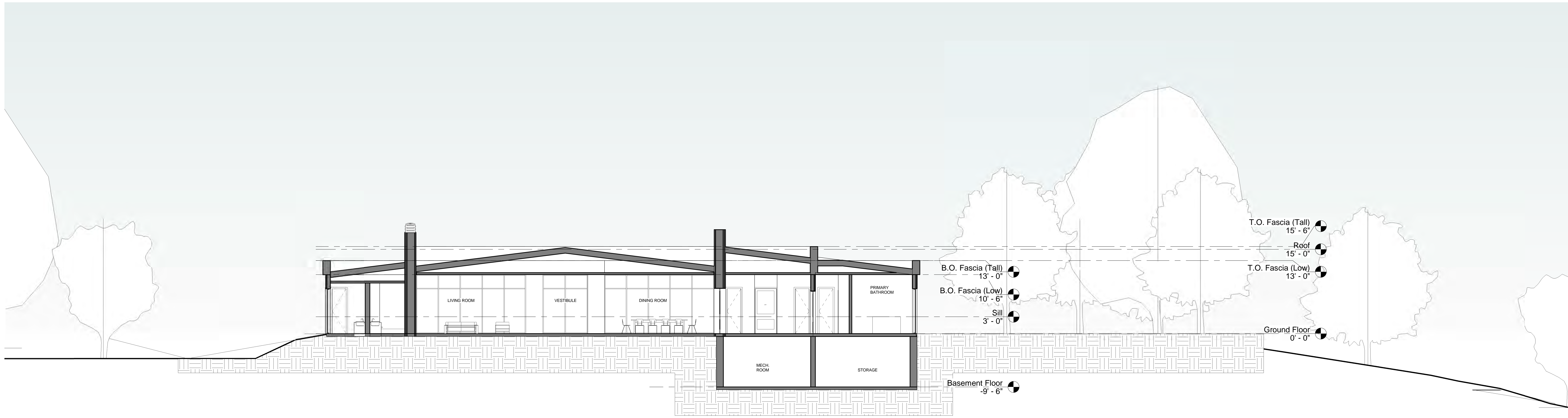
DRAWING TITLE:  
**GARAGE AND POOL  
CABANA - PLANS**

DRAWN BY: DK CHECKED BY: SS

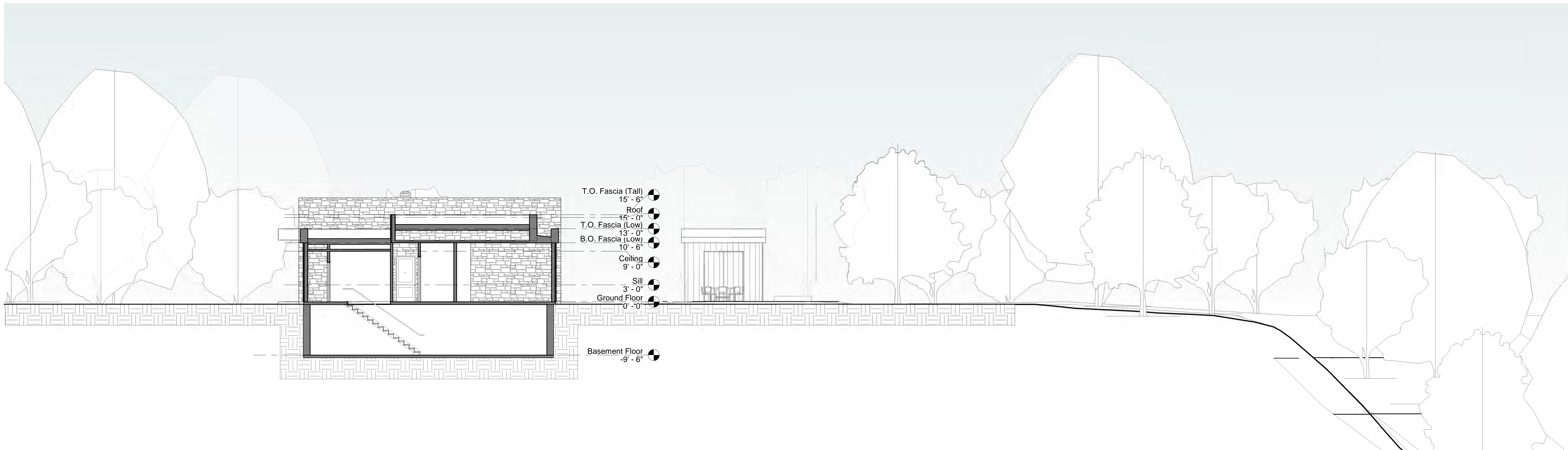
DATE: 02.03.2022 SCALE: 1/4" = 1'-0"

SHEET NUMBER:

**A-04.00**



1 MAIN BUILDING - LONG SECTION  
1/8" = 1'-0"



2 MAIN BUILDING - CROSS SECTION  
1/8" = 1'-0"

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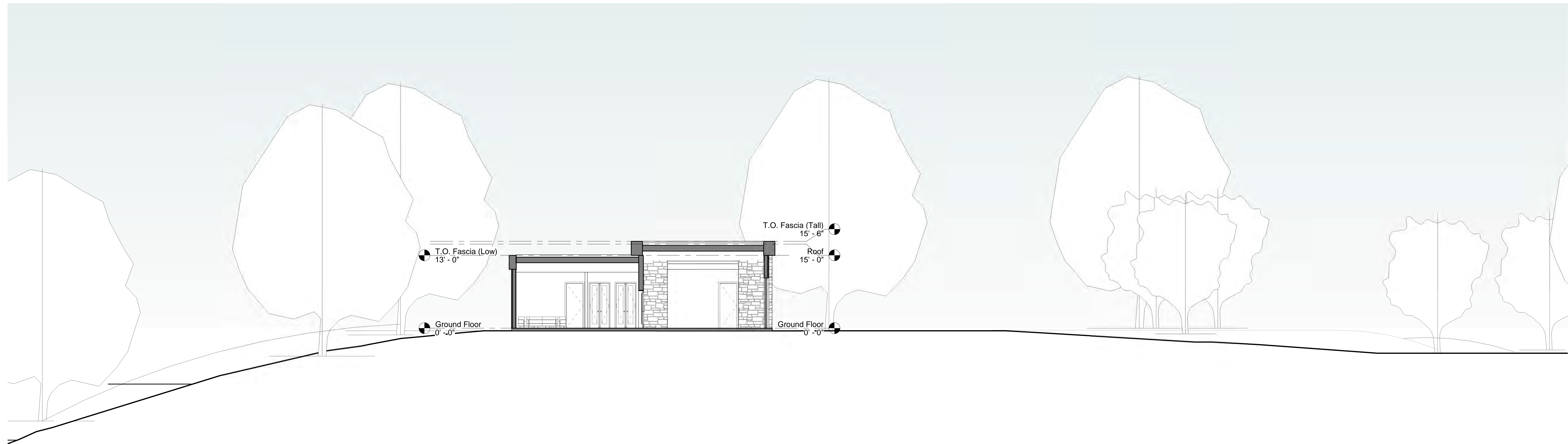
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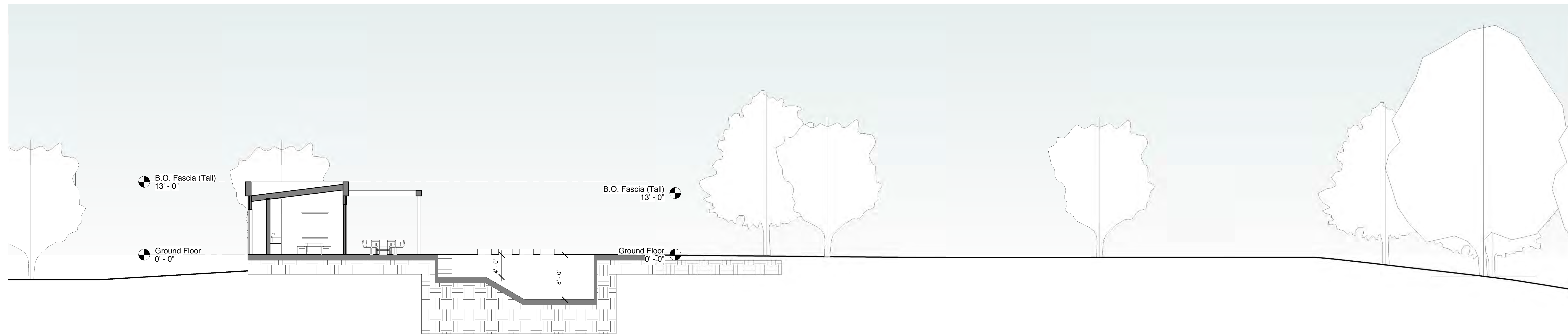
DRAWING TITLE:  
**BUILDING SECTIONS**

DRAWN BY: CHECKED BY:  
DK SS  
DATE: 02.03.2022 SCALE: 1/8" = 1'-0"

SHEET NUMBER:  
**A-05.00**



① GARAGE AND ACCESSORY UNIT - BUILDING - SECTION  
1/8" = 1'-0"



② POOL BUILDING - SECTION  
1/8" = 1'-0"

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Garrison, NY 10525

DRAWING TITLE:  
**BUILDING SECTIONS**

DRAWN BY: CHECKED BY:  
DK SS

DATE: SCALE:  
02.03.2022 1/8" = 1'-0"

SHEET NUMBER:  
**A-06.00**



① EAST BUILDING ELEVATION  
1/8" = 1'-0"



② WEST BUILDING ELEVATION  
1/8" = 1'-0"

ARCHITECT:  
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PROJECT NAME:  
**Sadlon/Wenske  
Residence**  
  
825 Route 9D,  
Garrison, NY 10525

DRAWING TITLE:  
**BUILDING ELEVATIONS -  
PART I**

DRAWN BY: DK CHECKED BY: SS  
DATE: 02.03.2022 SCALE: 1/8" = 1'-0"

SHEET NUMBER:  
**A-07.00**





① SOUTH BUILDING ELEVATION  
1/8" = 1'-0"



② NORTH BUILDING ELEVATION  
1/8" = 1'-0"

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825 Route 9D,  
Garrison, NY 10525

DRAWING TITLE:  
**BUILDING ELEVATIONS -  
PART II**

DRAWN BY: DK CHECKED BY: SS  
DATE: 02.03.2022 SCALE: 1/8" = 1'-0"

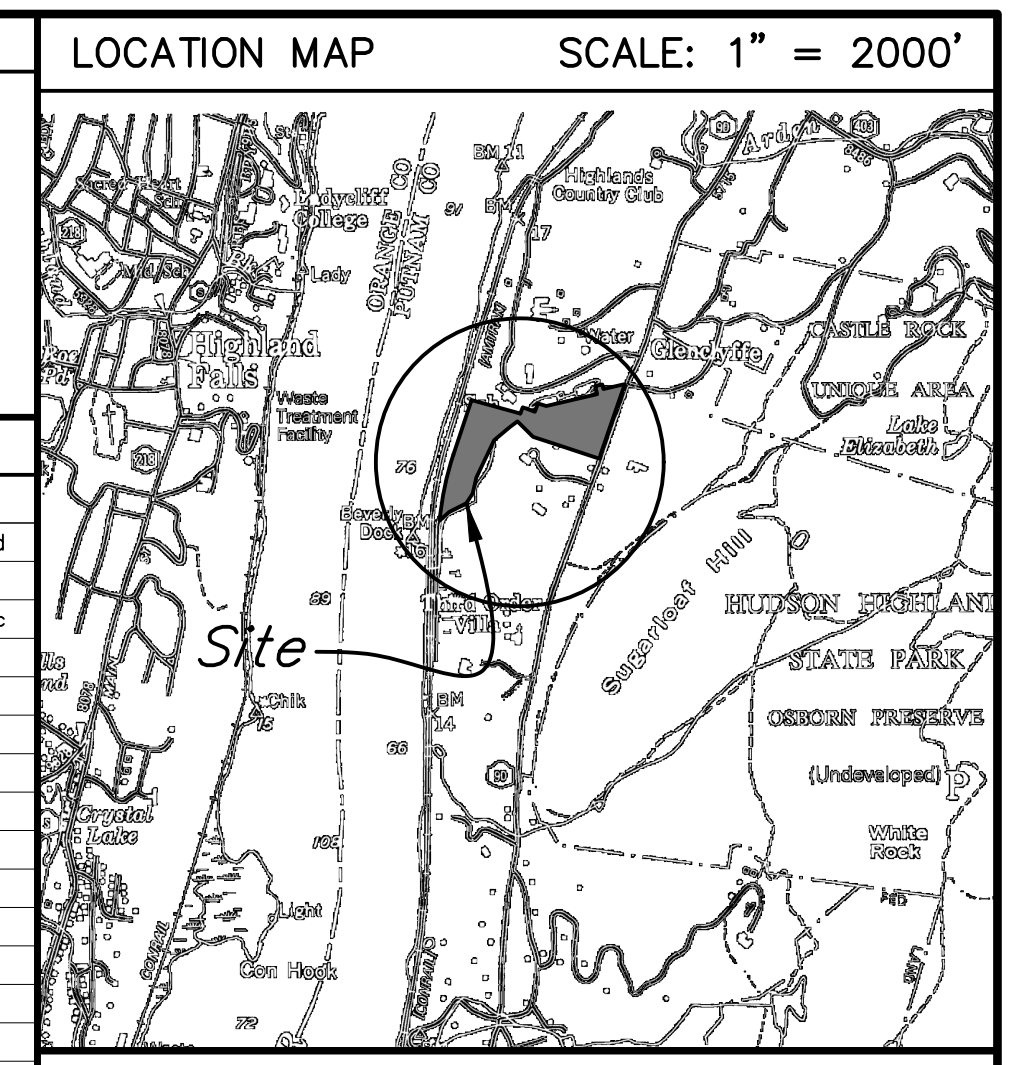
SHEET NUMBER:  
**A-08.00**



| SLOPE ANALYSIS   |                                  |  |  |
|--|----------------------------------|--|--|
| <span style="display:inline-block; width:10px; height:10px; border:1px solid black; background-color:white;"></span> | EXISTING SLOPE RANGE FROM 0-20%  |  |  |
| <span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>                        | EXISTING SLOPE RANGE FROM 20-35% |  |  |
| <span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>                        | EXISTING SLOPES GREATER THAN 35% |  |  |

| ZONING DATA  |          |           |           |
|--|----------|-----------|-----------|
| DISTRICT: INSTITUTIONAL CONSERVATION (IC)          |          |           |           |
|  | Required | Existing  | Proposed  |
| Minimum density (conservation)                     | 20 ac/ha | n/a       | n/a       |
| Minimum lot size (conservation/ODA)                | 20 ac    | 20,000 ac | 20,000 ac |
| Minimum lot size (conservation)*                   | varies   | n/a       | n/a       |
| Minimum road frontage for conventional subdivision | 200 ft   | 820 ft    | 820 ft    |
| Town road  | 200 ft   | -         | n/a       |
| County/state road                                  | 200 ft   | -         | n/a       |
| ODA ROW  | -        | n/a       | n/a       |
| Minimum front yard setback                         | 50 ft    | n/a       | n/a       |
| County/state road                                  | 100 ft   | -         | 379 ft    |
| Minimum side yard setback                          | 50 ft    | -         | 128 ft    |
| Minimum rear yard setback                          | 50 ft    | -         | 1,015 ft  |
| Max. impervious surface coverage                   | 12%      | 0%        | 2%        |
| Maximum height                                     | 40 ft    | -         | 16 ft     |
| Max. footprint for non-res. struct.                | -        | n/a       | n/a       |



**WARNING STAMP**

ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

| OVERLAY DISTRICTS                                     |                |
|---|----------------|
| 175-13 Floodplain Overlay District - NFP Map (FPO)    | - NOT WITHIN   |
| 175-18.1 Mobile Home Overlay District (MHO)           | - NOT WITHIN   |
| 175-14 Cold Spring Reservoir Water Shed Overlay (WSO) | - NOT WITHIN   |
| 175-15 Scenic Protection Overlay (SPO)                | - WITHIN       |
| 175-16 Aquifer Overlay District (AOD)                 | - NOT WITHIN   |
| Town-wide Regional Aquifer (RA) only                  | - NOT WITHIN   |
| 175-18 Open Space Conservation Overlay District (OSD) | - NOT WITHIN   |
| 175-35 Within 100' Buffer of Wetlands or Watercourse  | - WITHIN       |
| 175-36 Sleep Terrain                                  | - WITHIN       |
| 175-36a Slope Line Protection                         | - NOT WITHIN   |
| 175-37 Protection of Agriculture                      | - NOT ABUTTING |

| TREE LEGEND |        |
|-------------|--------|
|             | OK14TW |
|             | OK14TW |
|             | OK14TW |

| KEY        |              |
|------------|--------------|
| OK CHERRY  | OK OAK       |
| MC HICKORY | SS SASSAFRAS |
| LC LOCUST  | TR TULIP     |
| MA MAPLE   | HW WALNUT    |

| ATTRIBUTES |              |
|------------|--------------|
| BK BROKEN  | OU QUADRUPLE |
| CP CLUMP   | SP STAMP     |
| DA DAMAGED | TR TRIPLE    |
| DE DEAD    | TW TWIST     |
| DO DOUBLE  |              |
| FN FALLEN  |              |

**SITE DATA**

TAX MAP NO: 71-1-13.111  
 LOT AREA: 20,000 ACES  
 ZONING DISTRICT: INSTITUTIONAL CONSERVATION  
 PROPOSED USE: SINGLE-FAMILY DWELLING  
 SCHOOL DISTRICT: GARRISON UNION FREE  
 FIRE: GARRISON VOLUNTEER FIRE COMPANY  
 AMBULANCE: GARRISON VOL. AMBULANCE CORPS  
 SUBDIVISION: ...PARCEL A1 OF GLENCLIFFE...  
 FILED MAP NO. 2925C ON NOV 22, 2013

| REVISIONS |                                     |
|-----------|-------------------------------------|
| DATE      | DESCRIPTION                         |
| 10/26/21  | ORIGINAL DRAWING (PRE-APP SKETCH)   |
| 11/04/21  | PLANNING BOARD SUBMISSION           |
| 01/08/22  | ADD TREE SURVEY, MOD. STRUCTURES    |
| 02/03/22  | ROTATE STRUCTURES, REALIGN DRIVEWAY |

**PLANNING BOARD APPROVAL**

Final site plan approval granted by Resolution # \_\_\_\_\_ on \_\_\_\_\_.

No certificate of occupancy may be applied for until this site plan is signed below by an authorized representative of the planning board.

BY: \_\_\_\_\_, 2022.  
 RONALD J. GAINER, P.E., TOWN ENGINEER DATE

The signature below indicates that the site plan has been revised in accordance with Resolution # \_\_\_\_\_ and that all other pertinent outstanding requirements of Resolution # \_\_\_\_\_ have been satisfied.

PHILIPSTOWN PLANNING BOARD

BY: \_\_\_\_\_, 2022.  
 NEAL ZUCKERMAN, CHAIRMAN DATE

**ARCHITECT**

JOHN SADLON, AIA  
 PERKINS+WILL  
 NEW YORK, NY

**PROJECT LOCATION**

825 ROUTE 9D, GARRISON  
 TOWN OF PHILIPSTOWN  
 COUNTY OF PUTNAM  
 STATE OF NEW YORK

**PROPERTY OWNER**

JOHN SADLON & SVEN WENSKIE  
 529 WEST 42ND STREET - APT 6G  
 NEW YORK, NY 10036

**SITE GRADING & DRAINAGE PLAN**

MINOR SITE PLAN SET

STORMWATER POLLUTION PREVENTION PLAN (BASIC)

SCALE: 1" = 30"

**PRINTED**

February 3, 2022

BADEY & WATSON  
 Surveying & Engineering, D.P.C.

3003 Route 9  
 Cold Spring, NY 10516  
 www.Badey-Watson.com  
 845.365.9317  
 877.3.141.993 (Toll Free)

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**SHEET 1 OF 2**

| SOILS LEGEND |                  |   |
|--------------|------------------|---|
| Map Symbol   | Hydrologic Group | Soil Name   |
| ChB          | B                | CHARLTON loam, 2-8% Slopes                          |
| ChE          | B                | CHARLTON loam, 25-35% Slopes                        |
| ChD          | B/C/D            | CHARLTON-HOLLIS-ROCK outcrop complex, hilly         |
| Fl           | B/D              | FLUVIQUENTS-UDOLUQUENTS complex, frequently flooded |
| W            | -                | WATERS  |

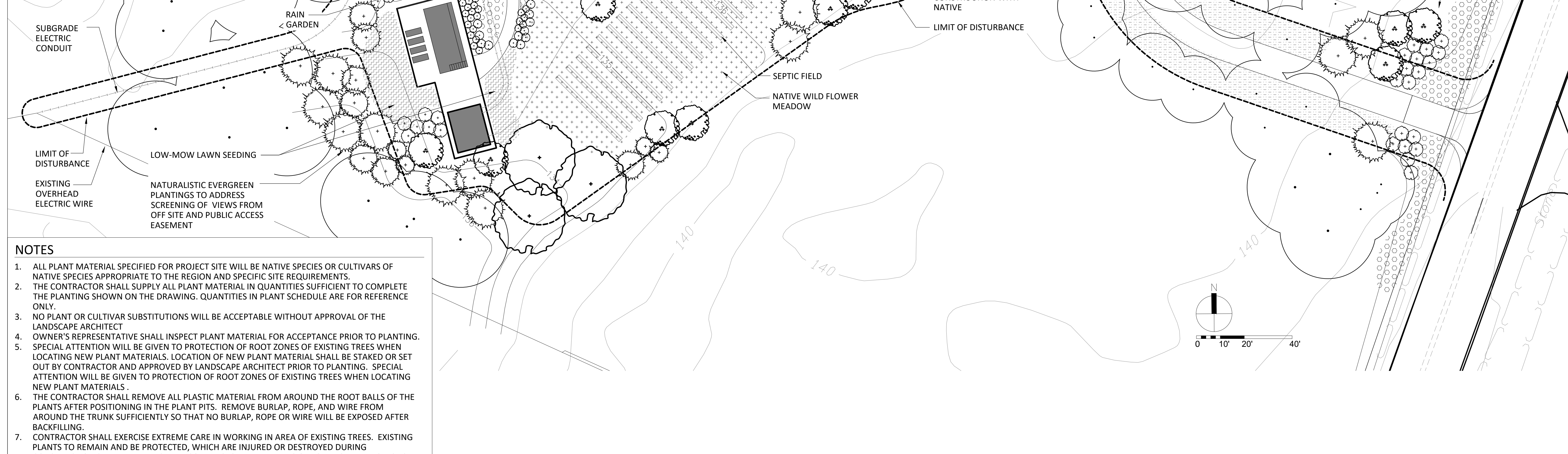
= Soil delineation (boundary) lines

Soil classifications and delineated lines have been derived from U.S. Department of Agriculture, Soil Conservation Service "Soil Survey of Putnam & Westchester Counties, New York" issued September 1994.

DRAWING NAME: SP26090\_R03\_V17 LAYOUT: PLAN W.O. NO. 26090 CHECKED BY MSM DRAWN BY JRS



| PLANT LIST                                  |                                     |
|---|-------------------------------------|
| BOTANICAL NAME                              | COMMON NAME                         |
| <b>DECIDUOUS TREES</b>                      |                                     |
| ACER RUBRUM                                 | RED MAPLE                           |
| LIRIODENDRON TULIPIFERA                     | TULIP TREE                          |
| QUERCUS BICOLOR                             | SWAMP WHITE OAK                     |
| QUERCUS RUBRA                               | RED OAK                             |
| <b>UNDERSTORY/SMALL DECIDUOUS TREES</b>     |                                     |
| AMELANCHIER CANADENSIS                      | SERVICEBERRY                        |
| CERCIS CANADENSIS 'FOREST PANSY'            | CANADIAN REDBUD                     |
| CORNUS FLORIDA                              | FLOWERING DOGWOOD                   |
| CHIONANTHUS VIRGINICUS                      | FRINGE TREE                         |
| CRETAEGUS MOLLIS                            | DOWNY HAWTHORN                      |
| <b>EVERGREEN TREES</b>                      |                                     |
| ABIES FRASIERI                              | FRASIER FIR                         |
| ILEX OPACA                                  | AMERICAN HOLLY                      |
| JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'     | EASTERN REDCEDAR 'EMERALD SENTINEL' |
| PICEA ABIES                                 | NORWAY SPRUCE                       |
| PICEA GLAUCA                                | WHITE SPRUCE                        |
| <b>DECIDUOUS SHRUBS</b>                     |                                     |
| ARONIA MELANOCARPA 'MORTON' IRAQUOIS BEAUTY | IRAQUOIS BEAUTY CHOKEBERRY          |
| CLETHERA ALNIFOLIA 'HUMMINGBIRD'            | HUMMINGBIRD SWEET PEPPERBUSH        |
| CLETHERA ALNIFOLIA 'RUBY SPICE'             | RUBY SPICE SWEET PEPPERBUSH         |
| CORNUS SERICEA 'CARDINAL'                   | CARDINAL REDOSIER DOGWOOD           |
| HYDRANGEA SERRATA 'TUFF STUFF'              | REBLOOMING MOUNTAIN HYDRANGEA       |
| HAMAMELIS VIRGINIANA                        | COMMON WITCHHAZEL                   |
| ILEX VERTICILLATA                           | WINTERBERRY                         |
| ITEA VIRGINICA 'LITTLE HENRY'               | VIRGINIA SWEETSPIRE 'LITTLE HENRY'  |
| LINDERA NENZOIN                             | SPICEBUSH                           |
| MYRICA PENNSYLVANICA                        | NORTHERN BAYBERRY                   |
| PHYSCARPUS OPULIFOLUS 'MONLO'               | NINEBARK                            |
| PHYSCARPUS OPULIFOLUS 'TINY WINE'           | TINY WINE GOLDNINEBARK              |
| RHUS AROMATICA 'GOR-LOW'                    | FRAGRANT SUMAC 'GOR-LOW'            |
| VIBURNUM DENTATUM                           | ARROWWOOD                           |
| VIBURNUM NUDUM 'WINTERHUR'                  | SMOOTH WITHERROD                    |
| <b>EVERGREEN SHRUBS</b>                     |                                     |
| ILEX GLABRA                                 | INKBERRY HOLLY                      |
| ILEX GLABRA 'COMPACTA'                      | COMPACT INKBERRY HOLLY              |
| ILEX GLABRA 'GEMBOX'                        | GEMBOX INKBERRY HOLLY               |
| <b>PERENNIALS/GRASSES/ GROUNDCOVERS</b>     |                                     |
| ANEMONE CANADENSIS                          | CANADIAN ANEMONE                    |
| ASTER NOVAE-ANGLIAE                         | NEW ENGLAND ASTER                   |
| BAPTISTA AUSTRALIS                          | BLUE WILD INDEGO                    |
| CAMPANULA PORTENSCHLAGIANA                  | DALMATIAN BELLFLOWER                |
| CAREX GRAYI                                 | GRAY'S SEDGE                        |
| CORNUS STOLONIFERA                          | REDSIER DOGWOOD                     |
| DENNSTAEDIA PUNCTILOBUL                     | HAYSCENTED FERN                     |
| DESCHAMPSIA CEPITOSA                        | TUFT HAIRGRASS                      |
| ECHINACEA PURPUREA                          | PURPLE CONEFLOWER                   |
| GERANIUM MACRORRHIZUM                       | BIG ROOT GERANIUM                   |
| GERANIUM MACULATUM                          | WILD GERANIUM                       |
| MONARDA FISTULOSA                           | BEFBALM                             |
| OSMUNDA CLAYTONIANA                         | INTERUPTED FERN                     |
| PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'     | LITTLE BUNNY FOUNTAIN GRASS         |
| POLEMONIUM REPTANS                          | JACOB'S LADDER                      |
| POLYSTICHUM ACROSTICHOIDES                  | CHRISTMAS FERN                      |
| RUDBECKIA FULGIDA 'GOLDSTRUM'               | BLACK EYED SUSAN                    |
| TIARELLA CORDIFOLIA 'SUGAR AND SPICE'       | FOAMFLOWER                          |



**NOTES**

- ALL PLANT MATERIAL SPECIFIED FOR PROJECT SITE WILL BE NATIVE SPECIES OR CULTIVARS OF NATIVE SPECIES APPROPRIATE TO THE REGION AND SPECIFIC SITE REQUIREMENTS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. QUANTITIES IN PLANT SCHEDULE ARE FOR REFERENCE ONLY.
- NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT
- OWNER'S REPRESENTATIVE SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING. SPECIAL ATTENTION WILL BE GIVEN TO PROTECTION OF ROOT ZONES OF EXISTING TREES WHEN LOCATING NEW PLANT MATERIALS. LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OR SET OUT BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING. SPECIAL ATTENTION WILL BE GIVEN TO PROTECTION OF ROOT ZONES OF EXISTING TREES WHEN LOCATING NEW PLANT MATERIALS.
- THE CONTRACTOR SHALL REMOVE ALL PLASTIC MATERIAL FROM AROUND THE ROOT BALLS OF THE PLANTS AFTER POSITIONING IN THE PLANT PITS. REMOVE BURLAP, ROPE, AND WIRE FROM AROUND THE TRUNK SUFFICIENTLY SO THAT NO BURLAP, ROPE OR WIRE WILL BE EXPOSED AFTER BACKFILLING.
- CONTRACTOR SHALL EXERCISE EXTREME CARE IN WORKING IN AREA OF EXISTING TREES. EXISTING PLANTS TO REMAIN AND BE PROTECTED, WHICH ARE INJURED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR WITH PLANTS OF EQUAL SIZE AND SPECIES AT NO COST TO THE OWNER.
- ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION. AREAS WITH BARE SOIL SHALL BE TOPSOILED AND SEEDED WITH NATIVE SEED MIX.
- THE CONTRACTOR SHALL WATER TREES, SHRUBS AND GROUNDCOVER TWICE DURING THE FIRST 24 HOURS AND AS NEEDED THROUGHOUT THE FIRST GROWING SEASON.

**LEGEND**

- DECIDUOUS CANOPY TREE
- DECIDUOUS UNDERSTORY TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- WOODLAND OPENINGS MIX (NATIVE SPECIES, PLUGS AND SEEDING)
- WILDFLOWER MEADOW SEED MIX (NATIVE SPECIES)
- LOW-MOW LAWN SEED MIX
- RAIN GARDEN MIX (NATIVE SPECIES, PLUGS AND SEEDING)
- NATIVE PERENNIALS AND ORNAMENTAL GRASSES

**ASPECT 120 LANDSCAPE ARCHITECTURE P.C.**  
 95 NORTH BROADWAY, SUITE 213  
 IRVINGTON, NY 10533  
 WWW.ASPECT120.COM  
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**OWNER:** JOHN SADLOW/ SVEN WENSKA  
 529 WEST 42ND STREET, APT 6G  
 NEW YORK, NY 10036

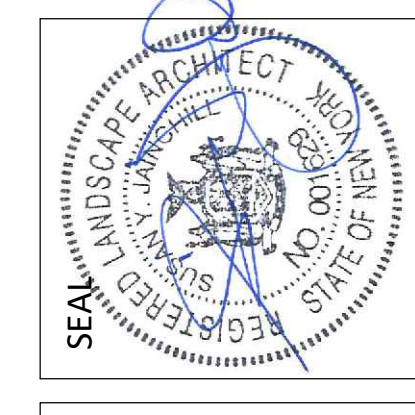
**PROJECT:** 825 ROUTE 9D  
 GARRISON, NY 10524

**JOB NO.:** R59  
**SCALE:** 1"=20'-0"  
**DATE:** 02/03/2022

**REVISIONS:**

| NO. | DESCRIPTION |
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**DRAWING TITLE**  
 ECOLOGICAL LANDSCAPE RESTORATION PLAN



**SHEET NO**  
 L-101

**PLAN FOR MUNICIPAL BOARD REVIEW**  
**\*NOT FOR CONSTRUCTION\***