



Transmittal

February 21, 2022

Town of Philipstown Building Department
Attn: Cheryl Rockett
2 Cedar Street
Cold Spring, NY 10516

RE: Amended Site Plan Approval Application for 201 Moog Road, Garrison, NY

Please find enclosed (13) copies the following documents:

- 1) Amended Site Plan Approval Application (application & agent authorization)
- 2) Plans
 - a. Survey
 - b. Site Plan Approval Comparison Plan
 - c. Layout-Enlargement
- 3) \$1,000 Escrow Check and \$250 Application Fee (sent separately)

If you have any questions, please contact Emily Weckman with LaurelRock at 203-313-3935.

Best regards,

Emily E. Weckman

Emily Weckman

LaurelRock

203-313-3935

Town of Philipstown
238 Main Street
Cold Spring New York 10516

PLANNING BOARD

AMENDMENT of SITE PLAN

APPLICATION PACKAGE

Project Name: Amended Site Plan for Proposed Site Improvements at the
Hunt-Potter Residence: 201 Moog Road, Garrison, NY

Date: 2/21/2022



Town of Philipstown

Planning Board
238 Main Street, PO Box 155
Cold Spring, NY 10516

Office (845) 265- Fax (845) 265-2687

Application for Planning Board Special Use & Site Plan Approval

Date: 2/21/2022

TM# 49-3-7

Project Name: Site Plan Approval Amendment for Proposed Site Improvements at the Hunt-Potter Residence

Street Address: 201 Moog Road, Garrison, NY

Fee Amount: \$1,000.00

Received: _____

Bond Amount: _____

Received: _____

Applicant:

Name William Potter

Address 201 Moog Road 9
Garrison, NY 10524

Telephone 917-699-3097

Tenant:

Name _____

Address _____

Telephone _____

Design Professional:

Name LaurelRock

Address 969 Danbury Road
Wilton, CT 06897

Telephone 203-544-0062

Surveyor:

Name Badey & Watson Surveyors and Engineers

Address 3063 Route 9
Cold Spring, NY 10516

Telephone 845-265-9217

Property Owner (if more than two, supply separate page):

Name William Potter

Address 622 Greenwich Street, Apt D
New York, NY 10014

Telephone 917-699-3097

Name Jolie Hunt

Address 622 Greenwich Street, Apt D
New York, NY 10014

Telephone 917-699-3097

TM# 49-3-7

Project Name: Site Plan Approval Amendment for Proposed Site Improvements at the Hunt-Potter Residence

Project Description: We are seeking a amendment for application # 15-2019

ZONING INFORMATION

175-7 Zoning District: RC-80

175-10 Proposed Use: Resi Single Family Residential

Proposed Accessory Use(s): Outdoor Living Space

175-7 Overlay Districts on the property:

Yes or No

- 175-13 Floodplain Overlay District – NFIP Map ----- (FPO) no
- 175-18.1 Mobile Home Overlay District ----- (MHO) no
- 175-14 Cold Spring Reservoir Water Shed Overlay ----- (WSO) no
- 175-15 Scenic Protection Overlay ----- (SPO) no
- 175-16 Aquifer Overlay District ----- (AQO) yes
- 175-18 Open Space Conservation Overlay District ----- (OSO) yes
- 175-35 Within 100 foot buffer of Wetlands or Watercourse ----- no
- 175-36 Steep Terrain ----- yes
- 175-36 Ridge Line Protection ----- no
- 175-37 Protection Agricultural----- no

TM# 49-3-7

Amended Site Plan for Proposed Site Improvements at the
Project Name: Hunt-Potter Residence: 201 Moog Road, Garrison, NY

175-11 Density and Dimensional Regulations

Zoning District <u>R-80</u>	Required	Existing	Proposed	Complies	Variance
Minimum front yard setback		House			
Measured from the travel way Town Road	60	204.2	N/A not changing	yes	
Measured from the travel way County/State	60	n/a	N/A not changing	yes	
Minimum side yard setback	30	164.1	N/A not changing	yes	
Minimum side yard setback (2)	30	n/a	N/A not changing	yes	
Minimum side yard setback (3)	30	n/a	N/A not changing	yes	
Minimum rear yard setback	50	372.2	N/A not changing	yes	
Maximum impervious surface coverage	10%			yes	
Maximum height	40'	25' +/-	N/A not changing	yes	
Maximum footprint non-residential structures	6,000	n/a	N/A not changing	n/a	

SUBMISSION:

13 copies with **one electronic file in .pdf format** of the following;

1. Pre-Application meeting decision and comments
2. Application
3. Proof of Ownership
4. Site Plan
5. A long-form Environmental Assessment Form or Draft Environmental Impact Statement.
6. An agricultural data statement as defined in §175-74, if required by §175-37C.
7. The Site Plan application fee, as established by the Town Board and any required escrow deposit for review costs, as required by the Planning Board.
8. FEE: _____ Received: _____
9. Escrow: _____ Received: _____

Town of Philipstown Town Code Chapter 175

D. Site Plan Amendments

An approved Site Plan may be amended by filing an application with the Planning Board for a Site Plan amendment.

1. If the Planning Board finds that such proposed amendment is consistent with the terms of any applicable Special Permit approval (or if no Special Permit is required) and does not represent a substantial change from the approved Site Plan, it shall grant the amendment without a hearing.
2. If the Planning Board determines that the proposed amendment is consistent with the terms of the applicable Special Permit approval (or if no Special Permit is required), but is a substantial change from the approved Site Plan, it shall follow the procedures for Site Plan approval contained in §175-66F and hold a public hearing if the amendment would be considered to be a Major Project.
3. If the Planning Board determines that the proposed amendment is inconsistent with the terms of any Special Permit approval, it shall consider the application to be one for a Special Permit amendment and proceed pursuant to §175-62.
4. Notwithstanding any other provision of this chapter, in considering any site plan amendment or any site plan approval for an existing use or structure, the Planning Board shall be limited to reviewing proposed changes and shall not require changes to any structures or conditions on the property legally in existence prior to such application, even if such structures or conditions are nonconforming.



Town of Philipstown

Code Enforcement Office
238 Main Street, PO Box 155
Cold Spring, NY 10516

Office (845) 265- 5202 Fax (845) 265-2687

OWNER CONSENT & AUTHORIZED AGENT FORM

Date: 11/29/2021

I, William Potter and Jolie Hunt, residing at _____, Owner

622 Greenwich St Apt 4D, New York NY 10014 do hereby authorize
Mailing Address, being the same as Putnam County Tax Records

Emily Weckman of LaurelRock, residing at _____, Authorized Agent

969 Danbury Road, Wilton, CT 06897 to act as my agent in
Authorized Agent Resident Mailing Address

securing permits in the Town of Philipstown at the following location;

201 Moog Road and Tax Map 49.-3-47

Street Address and Tax Map Number

I, as owner of this property, understand that I am responsible for any information and work submitted and performed by my agent. I further understand that each time my agent applies for a permit, that he/she must submit a new authorization form to the Town of Philipstown.

E E W (203) 313-3935
Authorized Agent's signature phone #

W. Potter (917) 699 3097
Property Owner or Corporate Officers signature phone #

State of New York
County of Putnam

The foregoing instrument was acknowledged before me this 10 day of December, 2021
By (Owner's name) William Potter, who is personally known to me or as identification shown: New York State Drivers License
Type of Identification

Notary Public Signature: Lisa Gordon
Printed Name of Notary: Lisa Gordon
My commission expires: May 22, 2022

LISA J. GORDON
Notary Public - State of New York
ID No. 01GO8146706
Qualified in Dutchess County
My Commission Expires May 22, 2022 010311

ZONING REQUIREMENTS	
Rural Conservation District (RC)	RC
Maximum density (conservation)	5 ac/du
Minimum lot size (conventional/CDA)	10 ac
Minimum lot size (conservation)	(4) Varies
Minimum road frontage for conventional subdivision	
Town road	250
County/state road	300
Open development area ROW	100
Minimum front yard setback	
Town road	60
County/state road	60
Minimum side yard setback	30
Minimum rear yard setback	30
Setback in conservation subdivision. See § 175-20E.	
Maximum impervious surface coverage	10%
Maximum height	40
Maximum footprint (in square feet) for nonresidential structures	6,000
* Users are referred to the Philipstown Zoning Law for more complete information and (f) footnoted data - www.philipstown.com	

LEGEND	
○	GARDEN ROCK
○	SHRUB
○	GLY
○	LAMP
○	POLE
○	POLYETHYLENE CHLORIDE PIPE
○	POST
●	SPOT ELEVATION
●	TOP & BOTTOM OF CURB
●	FIRST FLOOR ELEVATION
●	TOP OF AC CONDENSER ELEVATION
●	TOP OF GENERATOR ELEVATION
●	PAV ELEVATION
●	FIRST FLOOR SILL ELEVATION
●	BASEMENT FLOOR SILL ELEVATION
●	TOP OF POOL COPING ELEVATION
●	TOP OF SPA COPING ELEVATION
●	TOP STEP ELEVATION
●	BOTTOM STEP ELEVATION
●	HOSE END ELEVATION
●	TOP OF TANK ELEVATION
●	TOP & BOTTOM OF WALL
●	WATER VALVE

Lands of the City of New York - Catskill Aqueduct

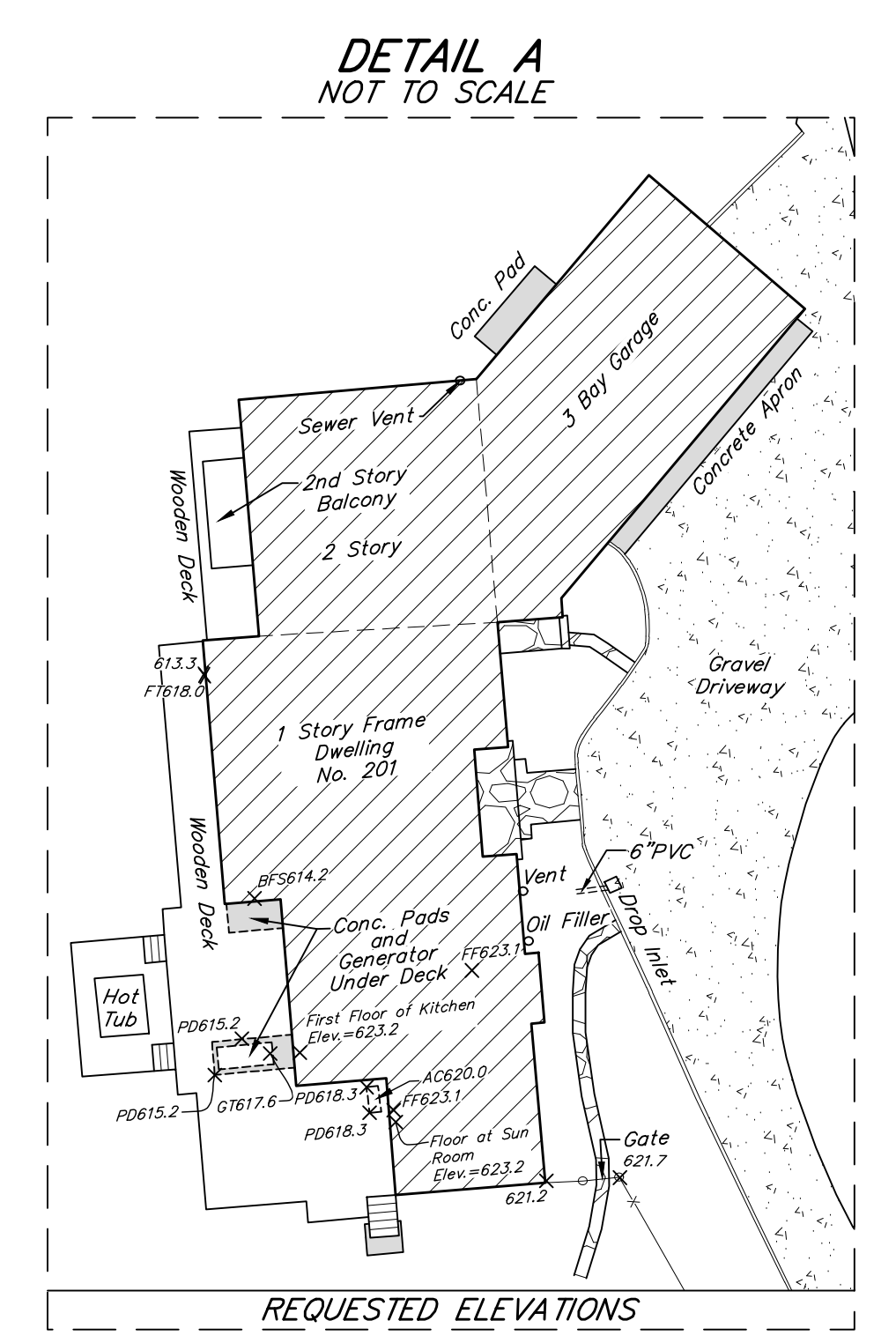
Area = 11.859 Acres
which includes 0.152 acres in Right-of-Way

This map was prepared for the exclusive use of and is certified only to:
WILLIAM POTTER
JOLIE HUNT

BADEY & WATSON
Surveying & Engineering, P.C.

3063 Route 9
Cold Spring, NY 10516
www.Badey-Watson.com

845.365.9317
845.285.4438 (Fax)
877.3141599 (Toll Free)

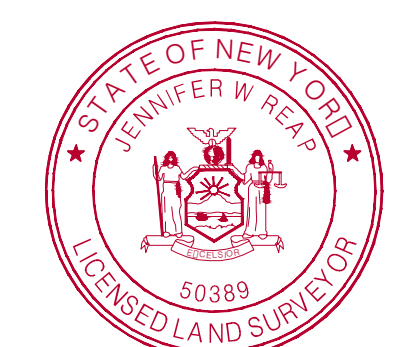


- Notes
1. COPYRIGHT "2019 & 2021" by BADEY & WATSON, Surveying & Engineering, P.C. All Rights Reserved. Unauthorized duplication is a violation of applicable laws.
 2. Unauthorized alteration or addition to a document prepared by a licensed land surveyor is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
 3. All certifications are valid for this map and copies thereof only if said map or copies bear the embossed seal of the surveyor whose signature appears hereon.
 4. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to these surveyors, they may not be shown on this map.
 5. This property may be affected by instruments which have not been provided to these surveyors. Users of this map should verify title with their attorney or a qualified title examiner.
 6. The premises hereon is Lot 5 as shown on that certain map entitled "Open Area Development Subdivision Plat Woodmere - Map 2 ...," which was filed in the Putnam County Clerk's office on May 11, 1984 as Map No. 1865C.
 7. The vertical datum hereon is Mean Sea Level, NAD 1929.
 8. Revised on August 27, 2019 as follows:
a. Corrected zoning setback lines and related data; and
b. Added slope analysis.
Survey was not brought to date.
 9. Revised on September 9, 2021 as follows:
a. Removed topographic data, slope analysis and related information.
b. Added specific spot elevations, as-built conditions and related data within the "Limit of Survey Update" as of August 26, 2021.
Remainder of survey was not brought to date.

SURVEY OF PROPERTY
PREPARED FOR
WILLIAM POTTER & JOLIE HUNT
SITUATE IN THE
TOWN OF PHILIPSTOWN
PUTNAM COUNTY
NEW YORK

SCALE 1 in. = 30 ft. MAY 22, 2019

We hereby certify that the survey shown hereon was completed by us on May 22, 2019 and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys adopted by The New York State Association of Professional Land Surveyors, Inc. Revised on September 9, 2021. See Note 9.



BADEY & WATSON
Surveying & Engineering, P.C.
by *William Potter*
NEW YORK STATE LICENSED LAND SURVEYOR
LICENSE No. 50389

PRINTED
SEPTEMBER 9, 2021
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Surveying & Engineering, P.C.

Drawing Name: LS24710_003_V04 Layout: SURVEY.WC No. 24710_25979 Checked by: JWR/GW Spell checked by: NAM Drawn by: NAM Closed by: G.W. On 2019-05-28 T.M. : 49-3-47

**HUNT-POTTER
RESIDENCE**
201 MOOG ROAD
GARRISON, NEW YORK 10524



969 DANBURY ROAD
WILTON, CONNECTICUT

T 203 544 0062
F 203 544 0707

www.laurelrock.com

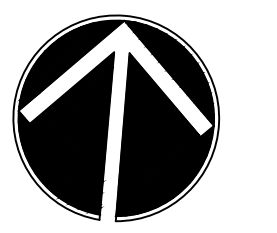
SURVEYOR/ CIVIL ENGINEER
BADEY & WATSON
SURVEYING & ENGINEERING, PC
3063 ROUTE 9
COLD SPRING, NY 10516
T (845) 265- 9217

STRUCTURAL ENGINEER
THE DISALVO ENGINEERING GROUP
83 WOOSTER HEIGHTS ROAD
SUITE 200
DANBURY, CT 06810
T (203) 490 4140

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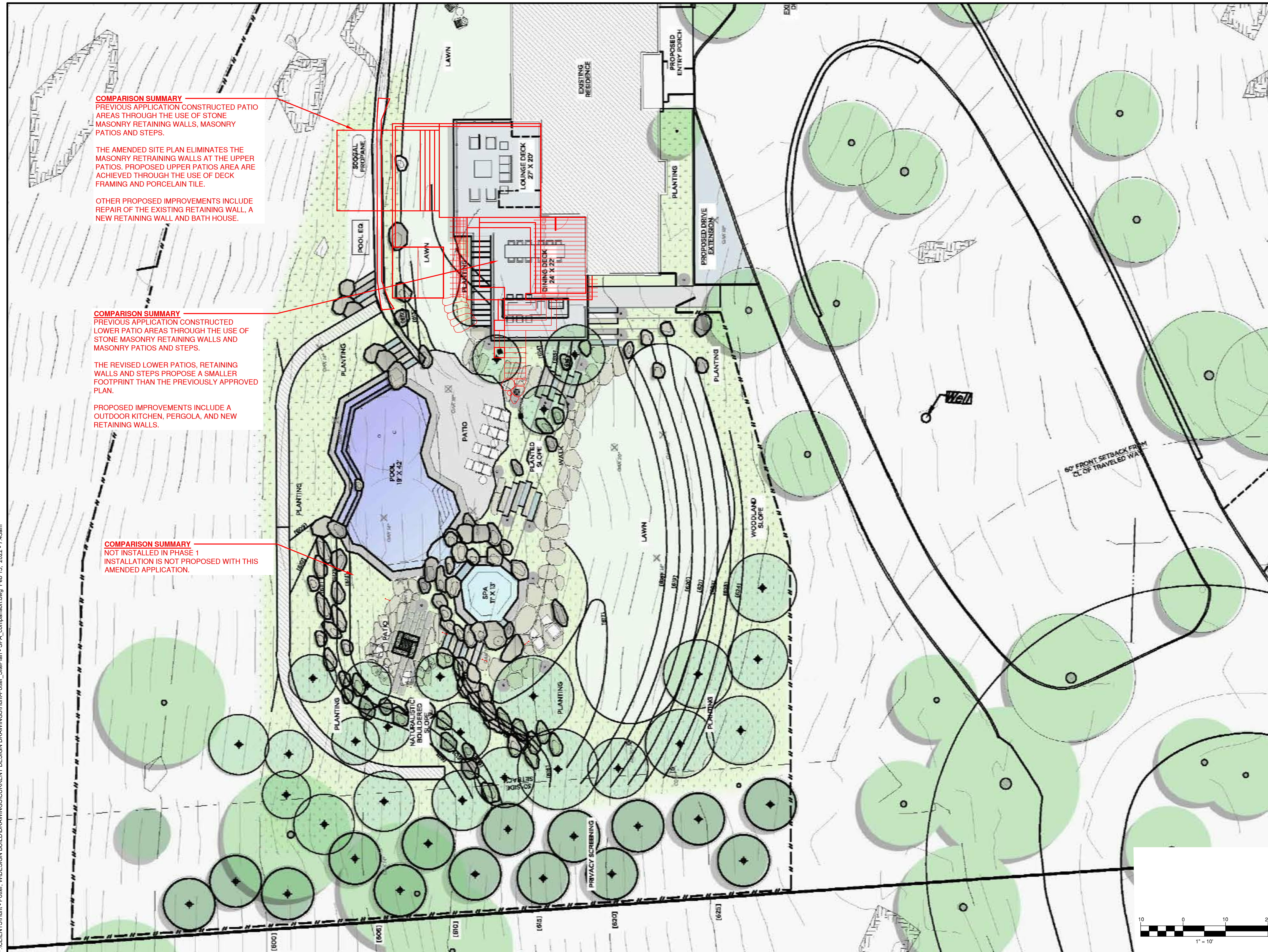
ISSUE	DATE	DESCRIPTION
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DATE: FEBRUARY 15, 2022
DRAWN BY: EW
REVIEWED BY: MAS
SCALE: 1" = 10'-0"



SEAL:
DRAWING TITLE:
**SITE PLAN APPROVAL
COMPARISON PLAN**

SHEET NO.:
L0.00



COMPARISON SUMMARY
PREVIOUS APPLICATION CONSTRUCTED PATIO AREAS THROUGH THE USE OF STONE MASONRY RETAINING WALLS, MASONRY PATIOS AND STEPS.

THE AMENDED SITE PLAN ELIMINATES THE MASONRY RETAINING WALLS AT THE UPPER PATIOS. PROPOSED UPPER PATIOS AREA ARE ACHIEVED THROUGH THE USE OF DECK FRAMING AND PORCELAIN TILE.

OTHER PROPOSED IMPROVEMENTS INCLUDE REPAIR OF THE EXISTING RETAINING WALL, A NEW RETAINING WALL AND BATH HOUSE.

COMPARISON SUMMARY
PREVIOUS APPLICATION CONSTRUCTED LOWER PATIO AREAS THROUGH THE USE OF STONE MASONRY RETAINING WALLS AND MASONRY PATIOS AND STEPS.

THE REVISED LOWER PATIOS, RETAINING WALLS AND STEPS PROPOSE A SMALLER FOOTPRINT THAN THE PREVIOUSLY APPROVED PLAN.

PROPOSED IMPROVEMENTS INCLUDE A OUTDOOR KITCHEN, PERGOLA, AND NEW RETAINING WALLS.

COMPARISON SUMMARY
NOT INSTALLED IN PHASE 1
INSTALLATION IS NOT PROPOSED WITH THIS AMENDED APPLICATION.

F:\CLIENTS\Hunt - Potter, W\DESIGN BUILD\DRAWINGS\CURRENT DESIGN DRAWINGS\Hunt-Potter_SitePlan - SPA_comparison.dwg Feb 15, 2022 - 7:45am

**HUNT-POTTER
RESIDENCE**
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GARRISON, NEW YORK 10524



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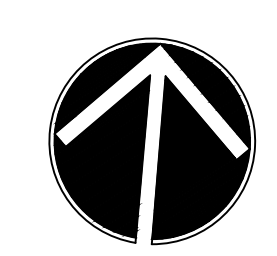
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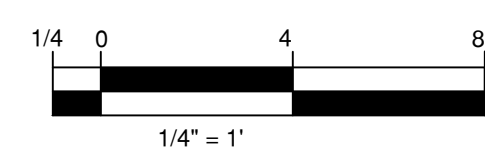
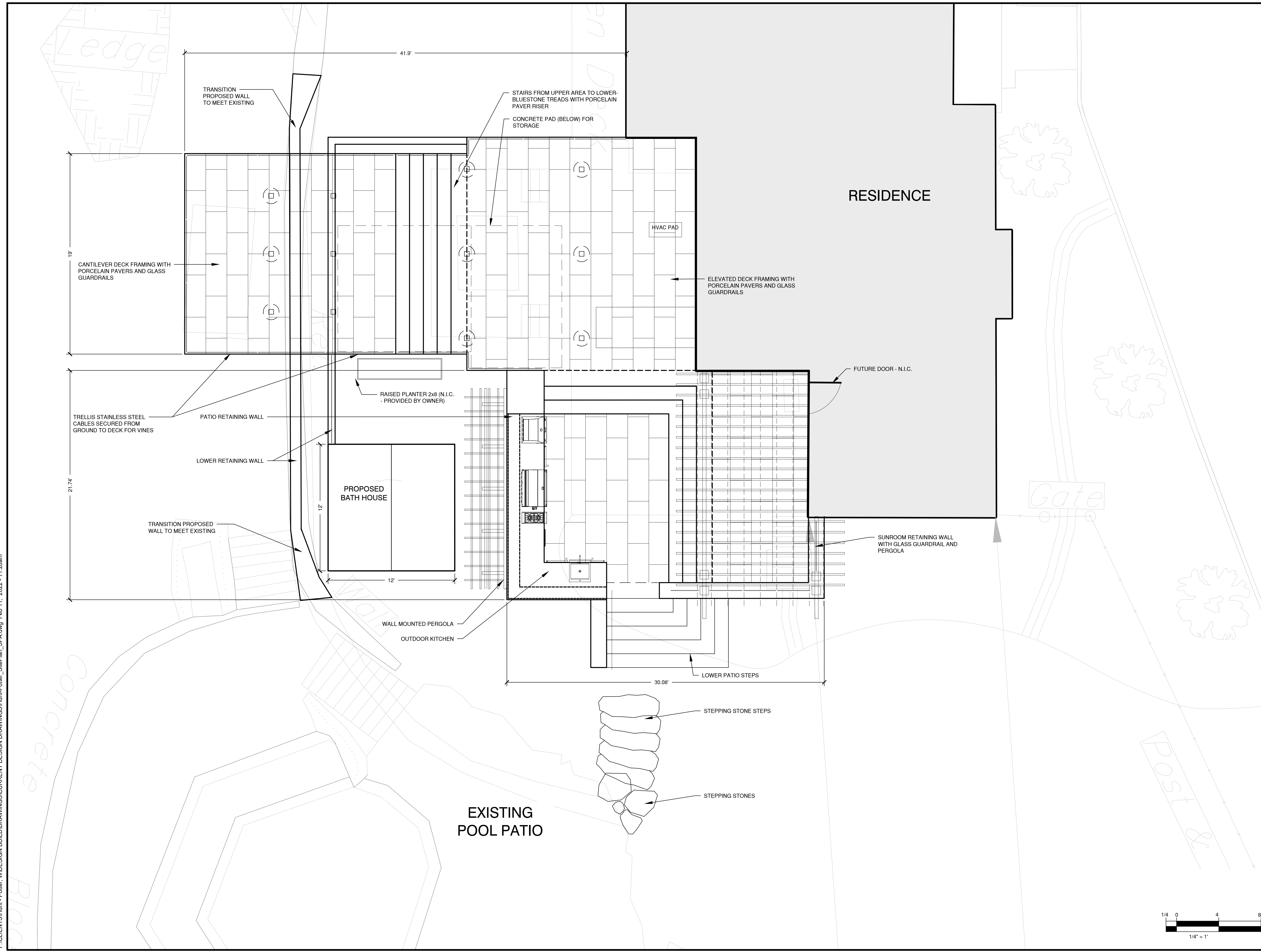
ISSUE	DATE	DESCRIPTION
1	2/15/2022	AMENDED SITE PLAN APPROVAL
2		
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10		

DATE: FEBRUARY 15, 2022
DRAWN BY: EW
REVIEWED BY: MAS
SCALE: 1/4" = 1'-0"



SEAL:
DRAWING TITLE:
LAYOUT-ENLARGEMENT

SHEET NO.:
L2.01



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