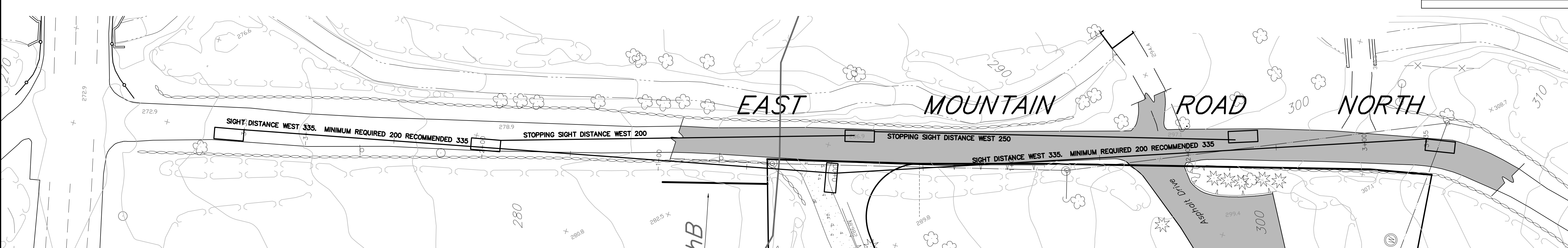
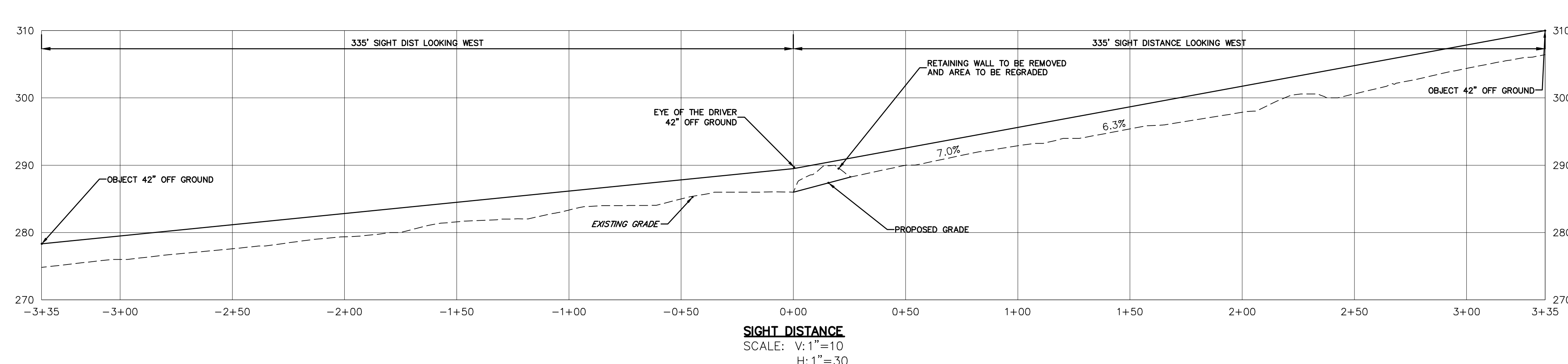


EXISTING CONDITIONS AND DEMO PLAN
SCALE 1" = 30'



SIGHT DISTANCE PLAN
SCALE 1" = 30'



LEGEND

- Pole
- ▬ Retaining wall
- ⊕ Sign
- ⊕ Evergreen Tree
- ⊕ Deciduous Tree
- ⊕ Bush
- ⊕ Hedges
- ⊕ Bushes
- ⊕ Existing Treeline
- Lamp (Single)
- Lamp (Double)
- Post
- Sign
- Underground Pipe
- Contour line
- Spotgrade
- CMP
- Corrugated Metal Pipe
- Corrugated Plastic Pipe
- Guy
- Post
- Reinforced Concrete Pipe
- Top/Bottom of Curb
- Wire
- Existing Stone Wall

ZONING DATA

DISTRICT: HC HIGHWAY COMMERCIAL

	REQUIRED	EXISTING	PROPOSED
MAXIMUM DENSITY (CONSERVATION)	---	---	---
MINIMUM LOT SIZE (CONVENTIONAL/ODA)	40,000 SF	143,333 SF	143,333 SF
MINIMUM LOT SIZE (CONSERVATION)	---	---	---
MINIMUM ROAD FRONTAGE FOR CONVENTIONAL SUBDIVISION	---	---	---
TOWN ROAD	200 FT	86.07 FT	86.07 FT
COUNTY/STATE ROAD	300 FT	---	---
ODA ROW	---	---	---
MINIMUM FRONT YARD SETBACK	---	---	---
TOWN ROAD	25 FT	80.86 FT	80.86 FT
COUNTY/STATE ROAD	35 FT	---	---
MINIMUM SIDE YARD SETBACK	15 FT	63.91 FT	42 FT±
MINIMUM REAR YARD SETBACK	35 FT	237.70 FT	54 FT±
MAX. IMPERVIOUS SURFACE COVERAGE	60%	10.23%	23.84%
MAXIMUM HEIGHT	40 FT	<40 FT	<40 FT
MAX. FOOTPRINT FOR NON-RES. STRUCT.	40,000 SF	---	3,840 SF

30 FEET IS NOT REQUIRED BECAUSE THE LAND IS NOT IN A RIDGELINE AND HILLSIDE PROTECTION AREA.

THE SUBJECT SITE IS NOT IN A SCENIC PROTECTION OVERLAY DISTRICT (SPO).

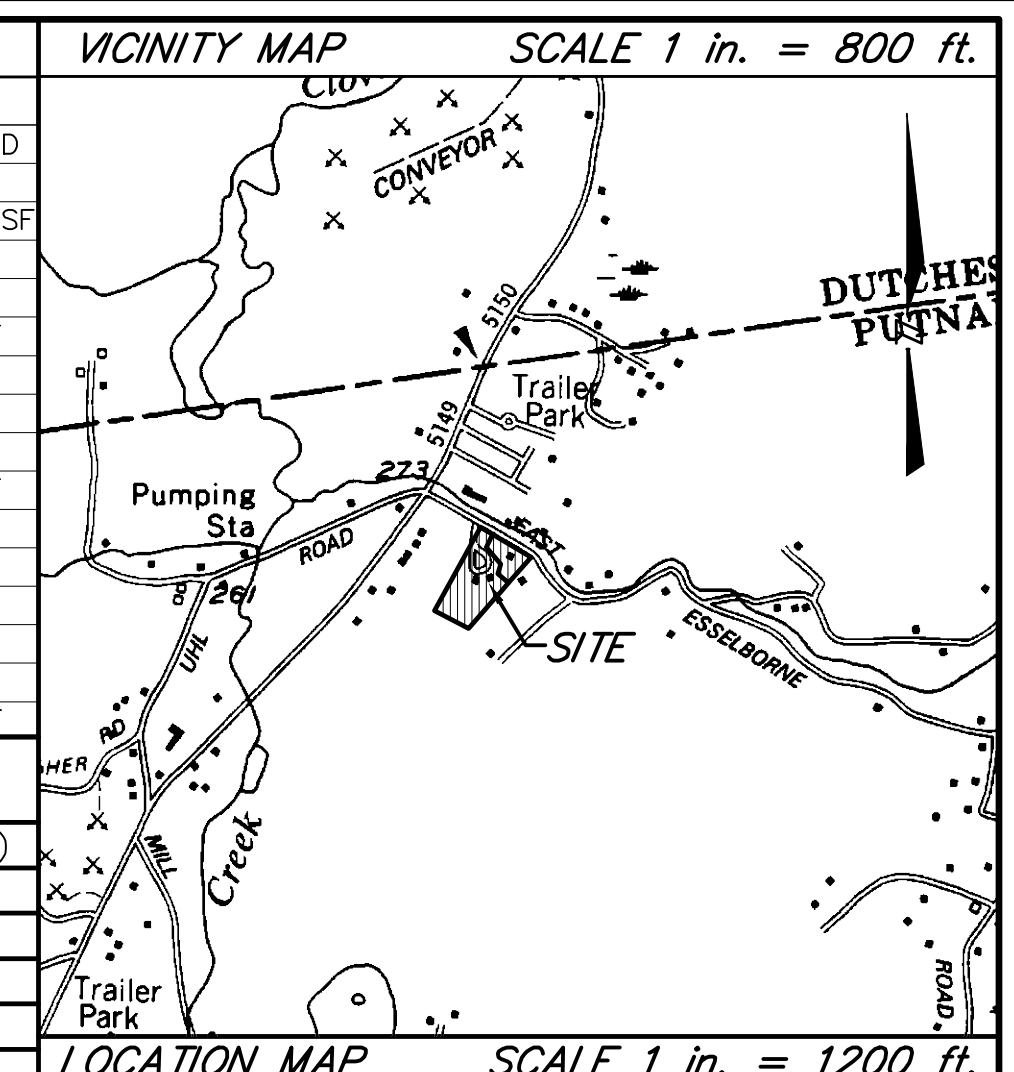
THE SUBJECT SITE LIES ENTIRELY WITHIN THE REGIONAL AQUIFER.

THERE IS NO FEMA FLOOD BOUNDARY ON OR NEAR THE SITE.

THERE IS NO TOWN WETLANDS ON OR NEAR THE SITE.

THERE IS NO NEW YORK STATE WETLANDS ON OR NEAR THE SITE.

THERE IS NO HILLSIDE PROTECTION AREA THROUGHOUT THE PROPERTY.



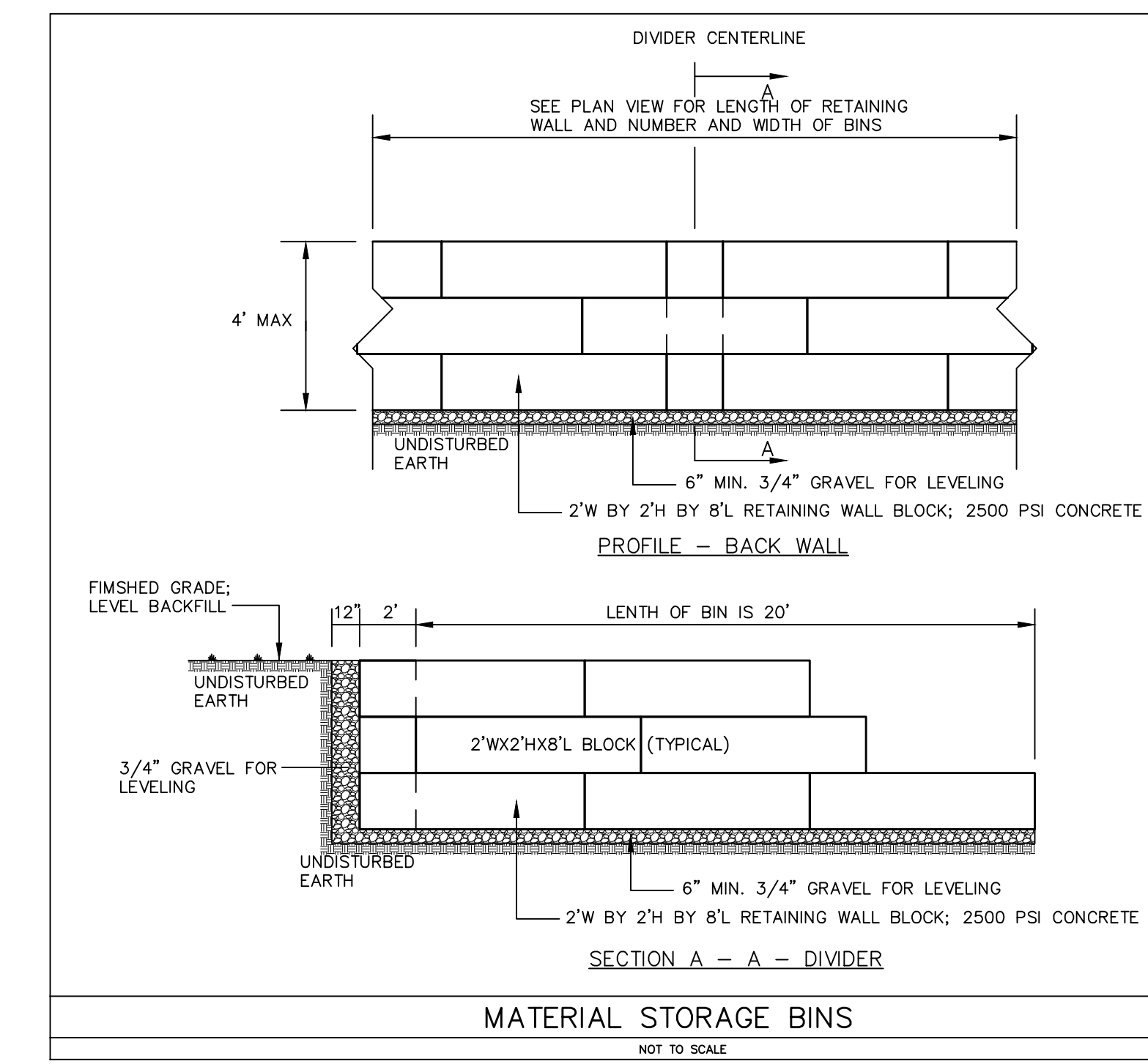
SLOPE ANALYSIS LEGEND

- EXISTING SLOPES OF 0% TO 20%
- EXISTING SLOPES OF 20% TO 35%
- EXISTING SLOPES OF 35% AND GREATER

SOILS LEGEND

MAP SYMBOL	HYDROLOGIC GROUP	SOIL NAME
ChB	B	CHARLTON loam, 2-8% Slopes
ChD	B	CHARLTON loam, 15-25% Slopes
RhB	B	RIVERHEAD loam, 3-8% Slopes

SOIL DELINEATION (BOUNDARY) LINES
SOILS CLASSIFICATIONS AND DELINEATED LINES HAVE BEEN DERIVED FROM U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE "SOIL SURVEY OF PUTNAM & WESTCHESTER COUNTIES, NEW YORK" ISSUED SEPTEMBER 1994.



SITE DATA

TAX MAP NUMBER
SECTION: 17.
BLOCK: 1
LOT: 42

NOTES

- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "LOT LINE ADJUSTMENT MAP PREPARED FOR CARL & DENISE FRISENDA" PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED DECEMBER 1, 2020.
- COPYRIGHT © 2021 BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C. ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS.
- UNAUTHORIZED ALTERATION OR ADDITION TO A DOCUMENT PREPARED BY A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- UNDERGROUND IMPROVEMENTS, IF ANY, ARE NOT SHOWN HEREON.
- THE TOPOGRAPHIC DATA HEREON WAS COMPILED PHOTOGRAMMETRICALLY FROM AERIAL PHOTOGRAPHS DATED APRIL 14, 2003. THE PHOTO SCALE WAS 1 INCH TO 550 FEET. THE COMPILATION SCALE WAS 1 INCH TO 50 FEET.
- THE VERTICAL DATUM HEREON IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
- THE MERIDIAN AND COORDINATE VALUES HEREON REFER TO THE NEW YORK STATE COORDINATE SYSTEM, EAST ZONE (NAD-1927).

REVISIONS

DATE	DESCRIPTION
01/06/22	ORIGINAL DRAWING
03/03/22	RESPONSE TO COMMENTS

PROJECT LOCATION

18 EAST MOUNTAIN ROAD NORTH
TOWN OF PHILIPSTOWN
COUNTY OF PUTNAM
STATE OF NEW YORK

PROPERTY OWNER

ANTOINETTE, CARL AND DENISE FRISENDA
22 EAST MOUNTAIN ROAD NORTH
COLD SPRING, NY 10516

APPLICANT

NICK DEPAOLIS
353 MAIN STREET
NELSONVILLE, NY 10516

WARNING STAMP

ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

UNDERGROUND WARNING - NYS CODE RULE 753

NEW YORK STATE INDUSTRIAL CODE §3 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (800-962-7962) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC. AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

PHILIPSTOWN PLANNING BOARD

FINAL SITE PLAN APPROVAL GRANTED BY RESOLUTION # _____ ON _____ NO CERTIFICATE OF OCCUPANCY MAY BE APPLIED FOR UNTIL THIS SITE PLAN IS SIGNED BELOW BY AN AUTHORIZED REPRESENTATIVE OF THE PLANNING BOARD.

BY: RONALD GAINER, TOWN ENGINEER DATE: _____ 2022.

THE SIGNATURE BELOW INDICATES THAT THE SITE PLAN HAS BEEN REVISED IN ACCORDANCE WITH RESOLUTION # _____ AND THAT ALL OTHER PERTINENT OUTSTANDING REQUIREMENTS OF RESOLUTION # _____ HAVE BEEN SATISFIED.

PHILIPSTOWN PLANNING BOARD

BY: NEAL ZUCKERMAN, CHAIRMAN DATE: _____ 2022.

PROJECT DESCRIPTION

COMMERCIAL SITE PLAN

SITE PLAN SET
PREPARED FOR
NICK DEPAOLIS
EXISTING CONDITIONS AND DEMO PLAN
SCALE: 1" = 30'

PRINTED
March 8, 2022

PRELIMINARY

BADEY & WATSON
Surveying & Engineering, D.P.C.
LICENSE No. 103021

COPYRIGHT 2022 BY BADEY & WATSON, SURVEYING & ENGINEERING, D.P.C.

BADEY & WATSON
Surveying & Engineering, D.P.C.
3963 Route 9
Cold Spring, NY 10516
www.Badey-Watson.com 845.365.9217
877.344.1999 (Toll Free)

SHEET 1 OF 3

Drawing Name: SP26137_R02_V17 Layout: SITE PLAN W.O. No. 26137 Checked by: MSM Spall checked by: LIG Drawn by: LIG Created by: T.M. : 17-1-41 & 17-1-42