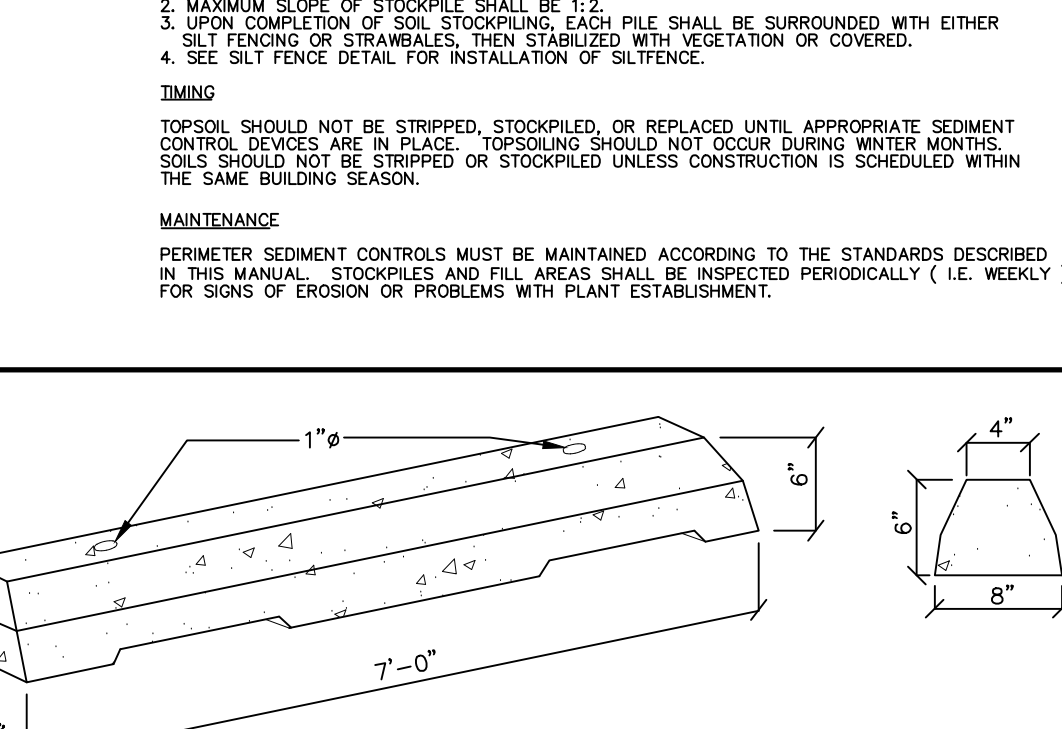
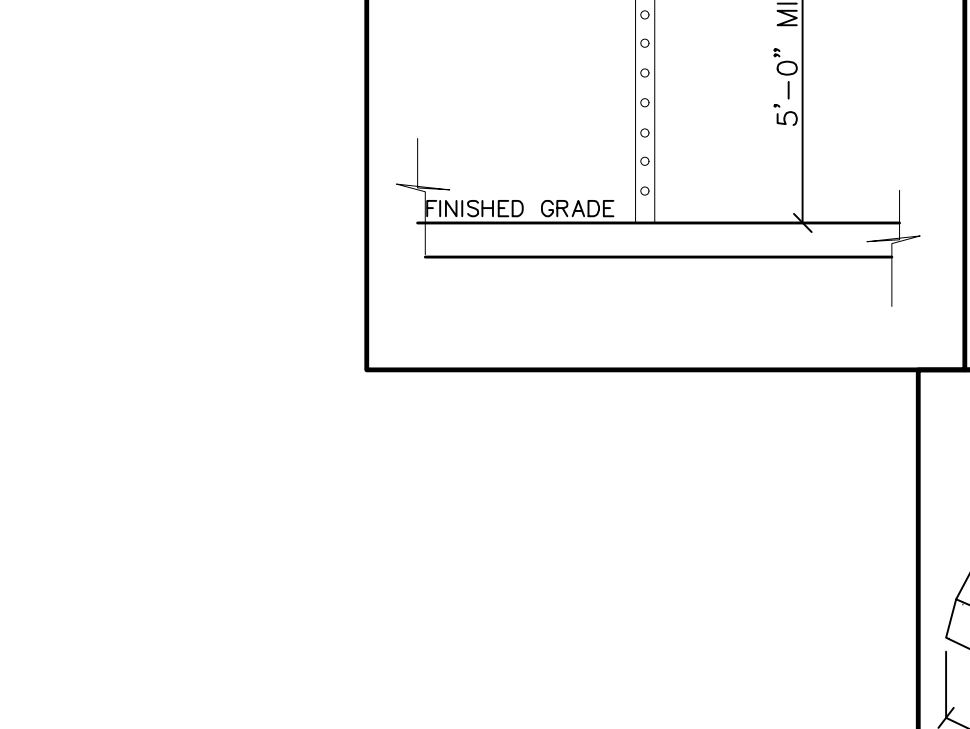
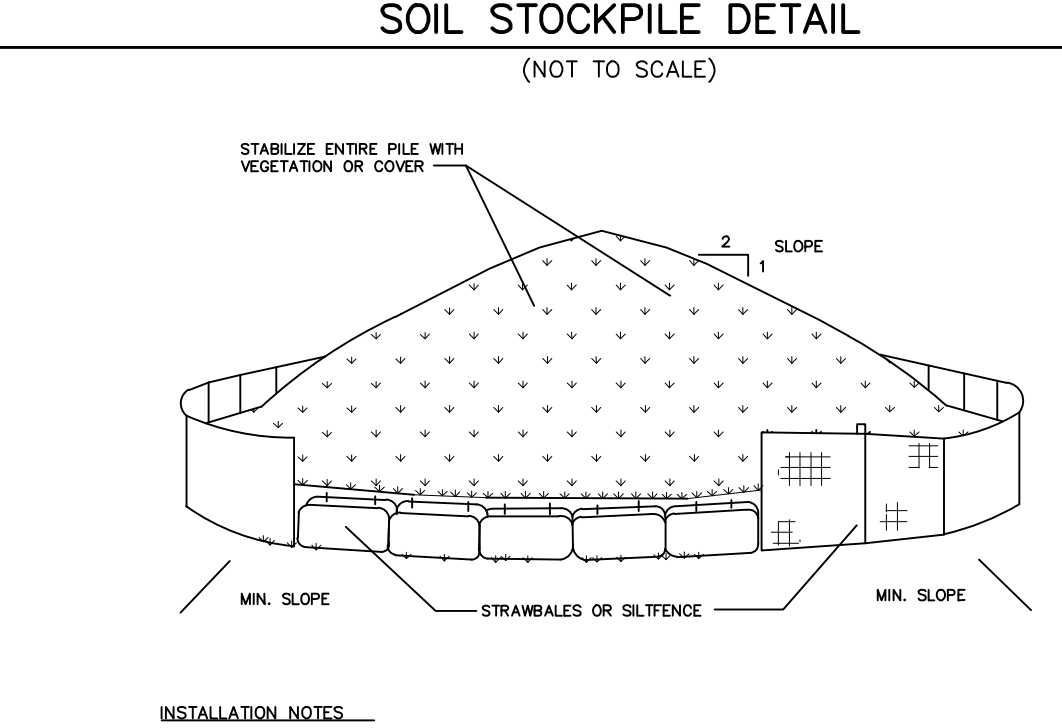
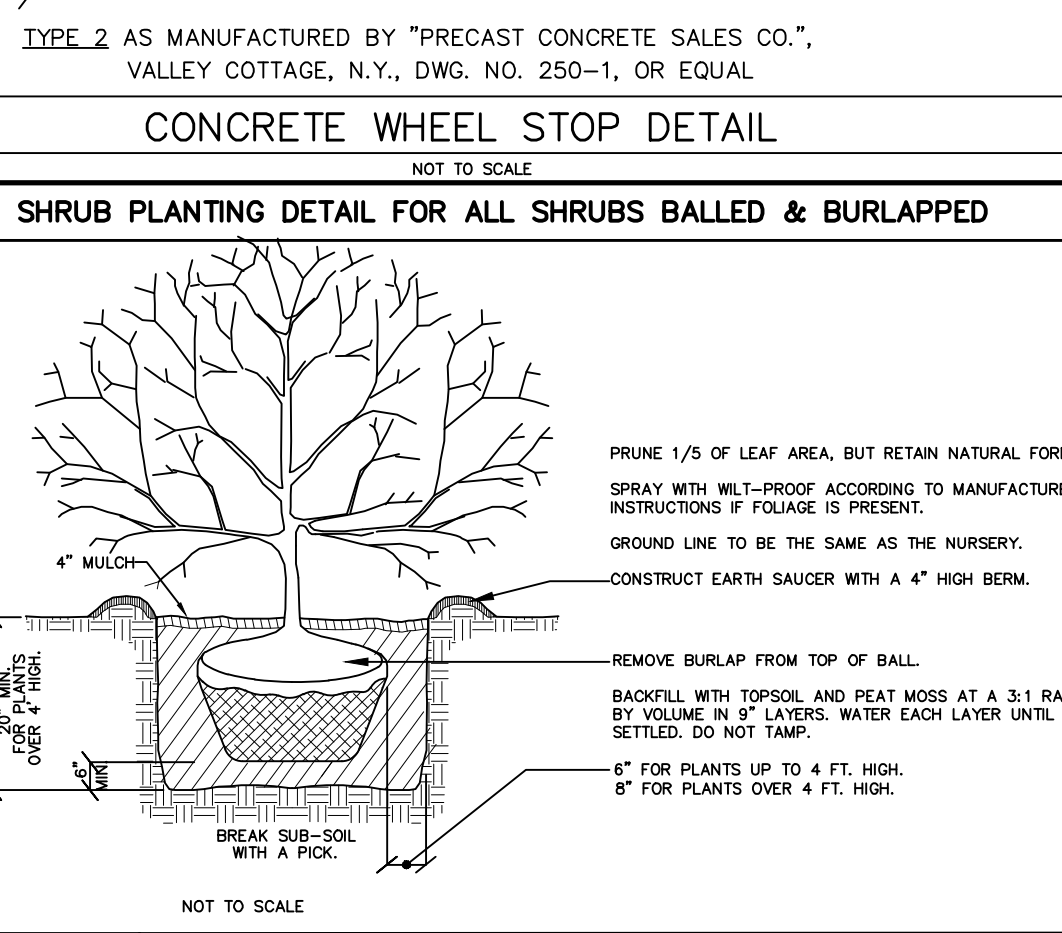


ZONING DATA			
DISTRICT:	REQUIRED	EXISTING	PROPOSED
DISTRICT: HC HIGHWAY COMMERCIAL			
MAXIMUM DENSITY (CONSERVATION)	40,000 SF	143,333 SF	143,333 SF
MINIMUM LOT SIZE (CONVENTIONAL/ODA)	40,000 SF	143,333 SF	143,333 SF
MINIMUM LOT SIZE (CONSERVATION)	---	---	---
MINIMUM ROAD FRONTAGE FOR CONVENTIONAL SUBDIVISION	200 FT	86.07 FT	86.07 FT
TOWN ROAD	200 FT	86.07 FT	86.07 FT
COUNTY/STATE ROAD	300 FT	---	---
ODA ROW	---	---	---
MINIMUM FRONT YARD SETBACK	25 FT	80.86 FT	80.86 FT
TOWN ROAD	35 FT	---	---
COUNTY/STATE ROAD	35 FT	---	---
MINIMUM SIDE YARD SETBACK	15 FT	63.91 FT	42 FT±
MINIMUM REAR YARD SETBACK	35 FT	237.70 FT	54 FT±
MAX. IMPERVIOUS SURFACE COVERAGE	60%	110.23%	23.84%
MAXIMUM HEIGHT	40 FT	<40 FT	<40 FT
MAX. FOOTPRINT FOR NON-RES. STRUCT.	40,000 SF	---	3,840 SF



SOILS LEGEND	
MAP SYMBOL	SOIL NAME
ChB	CHARLTON loam, 2-8% Slopes
ChD	CHARLTON loam, 15-25% Slopes
RhB	RIVERHEAD loam, 3-8% Slopes



UNDERGROUND WARNING - NYS CODE RULE 753
 NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (800-952-7962) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC., AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.
WARNING STAMP
 ALTERATION OF THIS DOCUMENT IN ANY WAY BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK

LANDSCAPE, LIGHTING AND EROSION & SEDIMENT CONTROL PLAN
 SCALE 1" = 30'

Key	Quantity	Botanical Name	Common Name	Size	Comments
TREES					
BS	28	Picea pungens	Blue Spruce	6"-7" H	FULL, B&B
Shrubs					
Herbaceous Plants					
NA	150	Narcissus	Daffodil		BULBS

GENERAL LANDSCAPING NOTES

- ALL AREAS OUTSIDE THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE LEFT AS NATURAL TERRAIN, IF NOT DISTURBED BY FILLING, GRADING OR EXCAVATION.
- ALL LANDSCAPING MATERIALS PLACED WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE OF A TYPE AND/OR SPECIES SUITABLE FOR THE LOCATION OF THE LOT IN TOWN, SUITABLE FOR THE SOIL CONDITIONS ON THE LOT, AND MAINTAINED IN ACCORDANCE WITH GOOD LANDSCAPING PRACTICE.
- LANDSCAPING WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE ACCOMPLISHED THROUGH THE USE OF NATIVE PLANT MATERIALS.
- ALL LANDSCAPING MATERIALS PLACED WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN, INCLUDING GROWING MATERIALS, SHALL BE WELL MAINTAINED. FAILURE TO MAINTAIN HEALTHY LANDSCAPING ASSOCIATED WITH A SITE PLAN APPROVAL WILL BE A VIOLATION OF SAID APPROVAL.
- EXISTING NATIVE TREE STOCK EIGHT INCHES OR MORE IN DIAMETER AT BREAST HEIGHT SHALL BE PROTECTED AND PRESERVED TO THE EXTENT POSSIBLE.

PHILIPSTOWN PLANNING BOARD
 FINAL SITE PLAN APPROVAL GRANTED BY RESOLUTION # ON _____ NO CERTIFICATE OF OCCUPANCY MAY BE APPLIED FOR UNTIL THIS SITE PLAN IS SIGNED BELOW BY AN AUTHORIZED REPRESENTATIVE OF THE PLANNING BOARD.
 BY _____ DATE _____, 2022.
 RONALD GANER, TOWN ENGINEER
 THE SIGNATURE BELOW INDICATES THAT THE SITE PLAN HAS BEEN REVISED IN ACCORDANCE WITH RESOLUTION # _____ AND THAT ALL OTHER PERTINENT OUTSTANDING REQUIREMENTS OF RESOLUTION # _____ HAVE BEEN SATISFIED.
 PHILIPSTOWN PLANNING BOARD
 BY _____ DATE _____, 2022.
 NEAL ZUCKERMAN, CHAIRMAN

NOTES

- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "LOT LINE ADJUSTMENT MAP PREPARED FOR CARL & DENISE A.D. FRISENDA" PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED DECEMBER 1, 2020
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- UNDERGROUND IMPROVEMENTS, IF ANY, ARE NOT SHOWN HEREON.
- THE TOPOGRAPHIC DATA HEREON WAS COMPILED PHOTOGRAMMETRICALLY FROM AERIAL PHOTOGRAPHS DATED APRIL 14, 2003. THE PHOTO SCALE WAS 1 INCH TO 550 FEET. THE COMPILATION SCALE WAS 1 INCH TO 50 FEET.
- THE VERTICAL DATUM HEREON IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
- THE MERIDIAN AND COORDINATE VALUES HEREON REFER TO THE NEW YORK STATE COORDINATE SYSTEM, EAST ZONE (NAD-1927).

REVISIONS

DATE	DESCRIPTION
01/06/22	ORIGINAL DRAWING
03/03/22	RESPONSE TO COMMENTS

PROJECT LOCATION
 18 EAST MOUNTAIN ROAD NORTH
 TOWN OF PHILIPSTOWN
 COUNTY OF PUTNAM
 STATE OF NEW YORK

PROPERTY OWNER
 ANTONETTE, CARL AND DENISE FRISENDA
 22 EAST MOUNTAIN ROAD NORTH
 COLD SPRING, NY 10516

APPLICANT
 NICK DEPAOLIS
 353 MAIN STREET
 NELSONVILLE, NY 10516

PROJECT DESCRIPTION
 COMMERCIAL SITE PLAN

SITE PLAN SET
 PREPARED FOR
NICK DEPAOLIS
LANDSCAPE, LIGHTING AND
EROSION & SEDIMENT
CONTROL PLAN

SCALE: 1" = 30'

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 March 8, 2022
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SHEET 3 OF 3

T.M. : 17-1-42
 Created by
 Drawn by LIG
 Spell checked by LIG
 Layout, SITE PLAN W.D. No. 26137
 Checked by MSM
 Drawing Name: SP26137_R02_V17