

# PARK-LESSER RESIDENCE

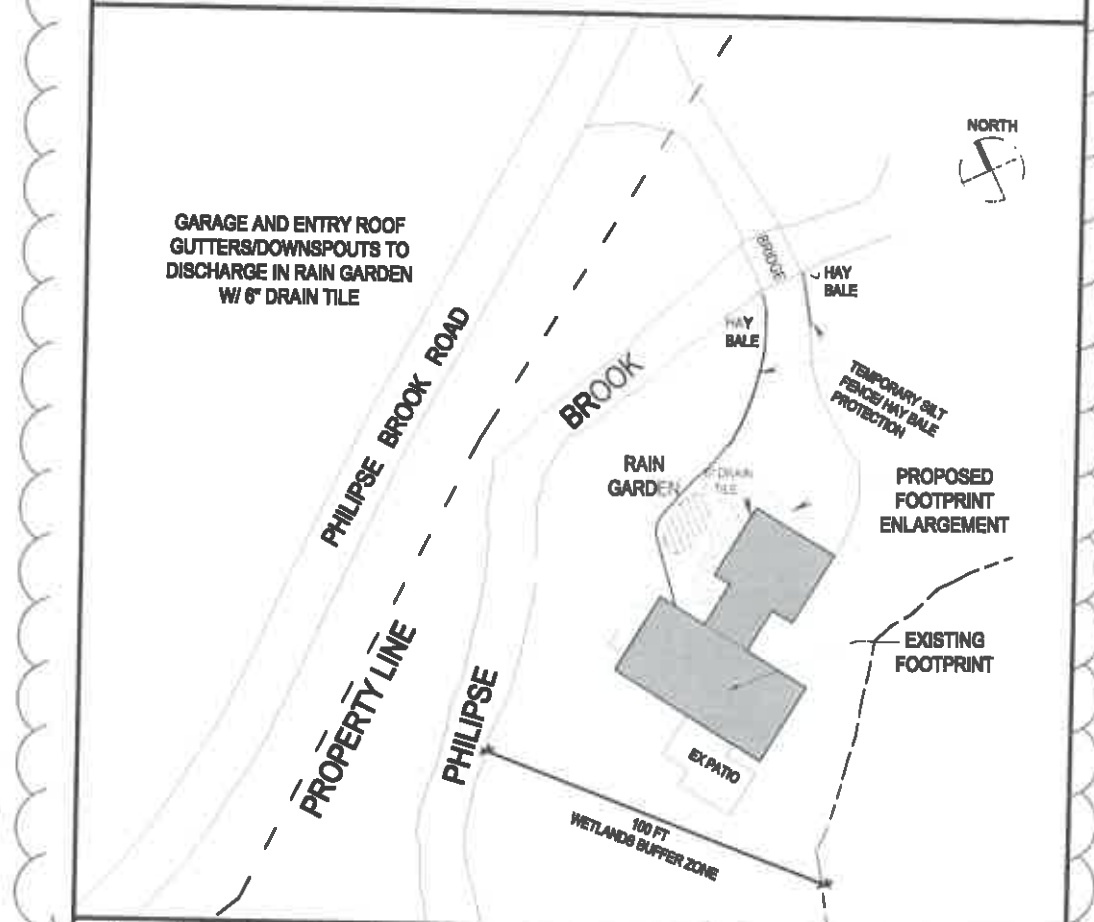
53 PHILIPSE BROOK ROAD, GARRISON, NY 10524

RECEIVED  
AUG 19 2021

ARCHITECT:  
**JANKO RASIC ARCHITECTS, PLLC**  
109 East 37th Street, New York, NY 10016  
Tel: 212.685.9500  
Web: www.jankorasic.com

STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E**  
13 Woodland Drive, Garrison, NY 10524  
Tel: 845.424.6119  
Web: www.car-eng.com  
Contact: Michael Carr  
mcarr@carr-eng.com

## WETLANDS BUFFER ZONE AND PROTECTION PLAN



Issue:

SHEET TITLE

COVER SHEET  
**WETLANDS APPLICATION 08.18.21**

SEAL & SIGNATURE



DATE: PROJECT No. 2008-01  
DRAWN BY: AA  
CHECKED BY: HG  
SCALE: NTS  
DRAWING No.

**T-001.00**



ARCHITECT:

**JR JANKO RASIC ARCHITECTS**  
 Janko Rasic Architects, PLLC  
 109 East 37th Street  
 New York, NY 10016  
 212.693.9500  
 www.jankorasic.com

CONSULTANTS:

STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E.**  
 13 WOODLAND DRIVE, GARRISON, NY 10524  
 Tel: 945.424.6119  
 Web: WWW.CAR-ENG.COM  
 CONTACT: MICHAEL CARR  
 MCARR@CARR-ENG.COM

NOTES:

SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
 SEE SCHEDULES ON DRAWING GN-004.00  
 MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	05.18.21	WETLANDS APPLICATION
3	05.17.21	ADDENDUM 1
2	05.07.21	FOR BID PERMIT
1	04.12.21	ISSUE TO ENGINEER

PROJECT  
**PARK-LESSER RESIDENCE**

63 PHILPBE BROOK ROAD, GARRISON, NY 10524

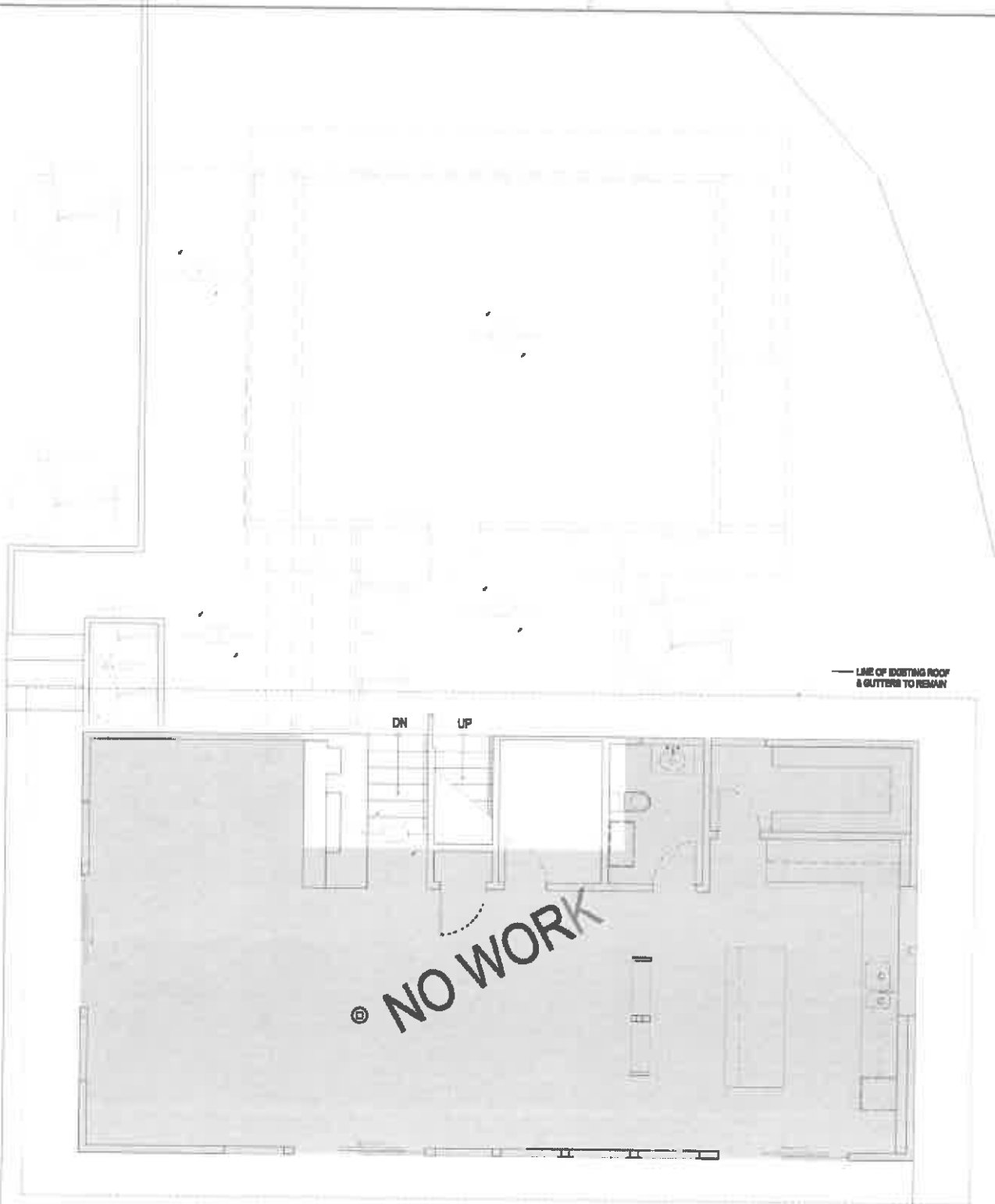
SHEET TITLE  
**1ST & 2ND FLOOR DEMOLITION PLAN**

SEAL & SIGNATURE



DATE: 05.05.21  
 PROJECT No. 2008-01  
 DRAWN BY: AA  
 CHECKED BY: TR  
 SCALE: 1/8"=1'-0"  
 DRAWING No. **DM-101.00**

8 of 12



**1 DEMOLITION PLAN**  
 SCALE: 1/8"=1'-0"

GENERAL SHEET NOTES:

1. ALL WORK TO COMPLY W/ LOCAL, STATE & BUILDING CODE
2. UTILITIES TO REMAIN OPERATIONAL DURING CONSTRUCTION
3. SEE STRUCTURAL PLAN FOR ADDITIONAL INFORMATION

SHEET KEY NOTES:

1. EXISTING STAIR TO REMAIN (PROTECT DURING CONSTRUCTION)
2. EXISTING GAMBRE TO BE DEMOLISHED INCLUDING BLANK & FOUNDATION. SEE STRUCTURAL DRAWINGS FOR PROPOSED NEW FOUNDATION PLAN
3. COORDINATE W/ OWNER FOR NEW PAVERS, PATHS & PLANTERS



ARCHITECT:

**JANKO RASIC ARCHITECTS**

Janko Rasic Architects, PLLC  
109 East 37th Street  
New York, NY 10016  
212.685.9500  
www.jankorasic.com

CONSULTANTS:

STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E.**  
13 WOODLAND DRIVE, GARRISON, NY 10524  
Tel: 845.424.8118  
Web: WWW.CARR-ENG.COM  
CONTACT: MICHAEL CARR  
MCARR@CARR-ENG.COM

NOTES:

SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
SEE SCHEDULES ON DRAWING GN-004.00  
MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	08.18.21	WETLANDS APPLICATION
3	08.17.21	ADDENDUM 1
2	05.07.21	FOR BID PERMIT
1	04.12.21	ISSUE TO OWNER

PROJECT

**PARK-LESSER RESIDENCE**

68 PHILPSE BROOK ROAD, GARRISON, NY 10524

SHEET TITLE  
**1ST & 2ND FLOOR  
CONSTRUCTION & FINISH PLAN**

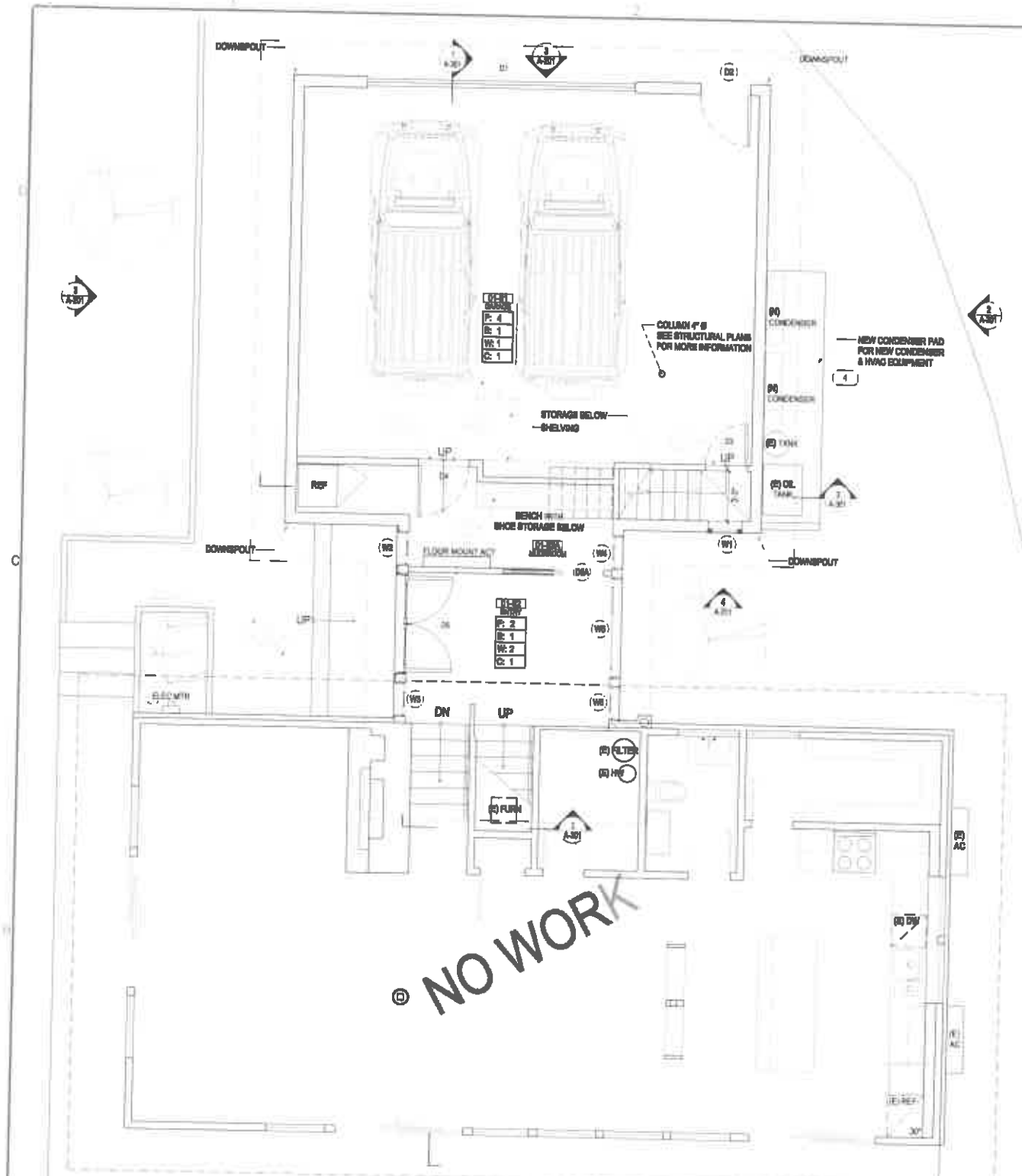
SEAL & SIGNATURE



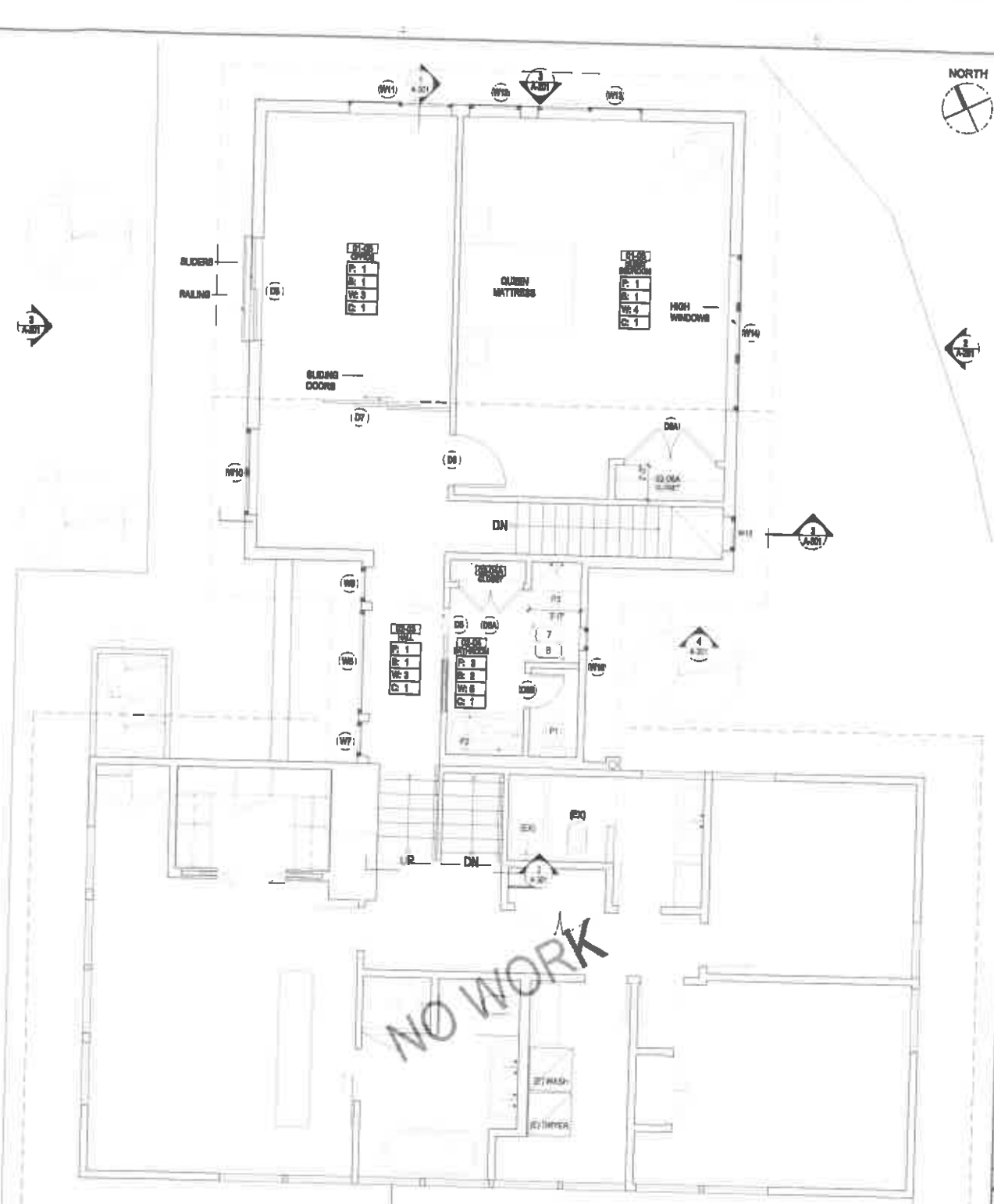
DA : 08-23-20  
PROJECT No. 2009-01  
DRAWN BY: AA  
CHECKED BY: TR  
CA : 10/01/07  
DRAWING No.

**A-101.00**

7 of 12



**1 FIRST FLOOR**  
SCALE 1/8"=1'-0"



**2 SECOND FLOOR**  
SCALE 1/8"=1'-0"

GENERAL SHEET NOTES:

1. ALL WALLS TO BE INSULATED FOR SOUND ATTENUATION AT EXTERIOR WALLS. REFER TO WALL SECTION ON A-501 & EXTERIOR ENVELOPE TAILL PAGE ON GN-001

SHEET KEY NOTES:

1. ALL WALLS & CEILING AROUND GARAGE TO BE AIR SEALED TO PREVENT CARBON MONOXIDE FROM ENTERING LIVING QUARTERS (NO GAPS ABOVE CEILING OR INSIDE WALLS)
2. DOORS INTO LIVING QUARTERS TO BE FULLY SEALED WITH BELL DROP AND GASKETS. PROVIDE DOOR CLOSERS.
3. REVIEW PLANTER, LANDINGS & PATHS W. OWNER PRIOR TO CONSTRUCTION.
4. REVIEW CONCRETE PAD & HVAC EQUIPMENT SPACE REQUIREMENTS. PROVIDE BLIND WALL TO CONCEAL.
5. BENCH WITH SHOE STORAGE BELOW
6. PROVIDE WALL WATERPROOFING (FULL HEIGHT) AT SHOWER TUB
7. PROVIDE FLOOR WATER PROOFING AT BATHROOM. EXTEND 4" UP AROUND WALLS.
8. ALL BATHROOM GYPSUM WALL BOARD TO BE WATER RESISTANT.



ARCHITECT:  
**JR JANKO RASIC ARCHITECTS**  
 Janko Rasic Architects, PLLC  
 109 East 37th Street  
 New York, NY 10016  
 212.685.9820  
 www.jankorasic.com

CONSULTANTS:  
 STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E.**  
 13 WOODLAND DRIVE, GARRISON, NY 10624  
 Tel: 845.424.8118  
 Web: WWW.CAR-ENG.COM  
 CONTACT: MICHAEL CARR  
 MCARR@CARR-ENG.COM

NOTES:  
 SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
 SEE SCHEDULES ON DRAWING GN-004.00  
 MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	08.16.21	WETLANDS APPLICATION
3	06.17.21	ADDENDUM 1
2	05.07.21	FOR MEV PERMIT
1	04.13.21	ISSUE TO ENGINEER

PROJECT  
**PARK-LESSER RESIDENCE**  
 83 PHILIPSE BROOK ROAD, GARRISON, NY 10624

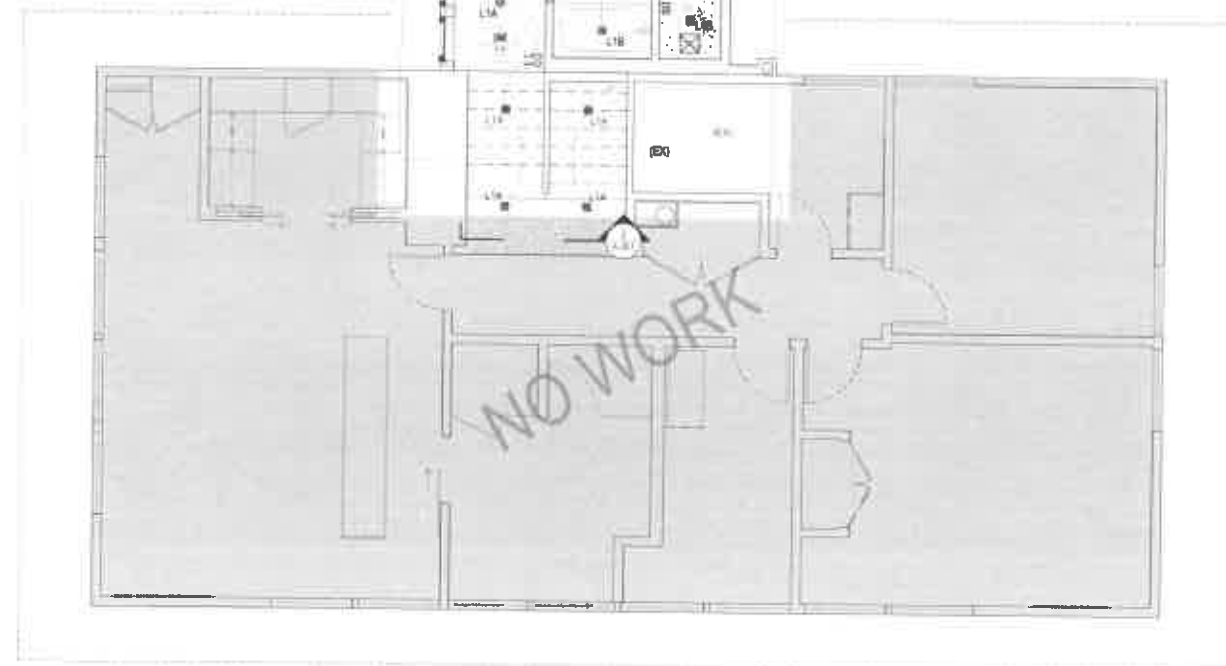
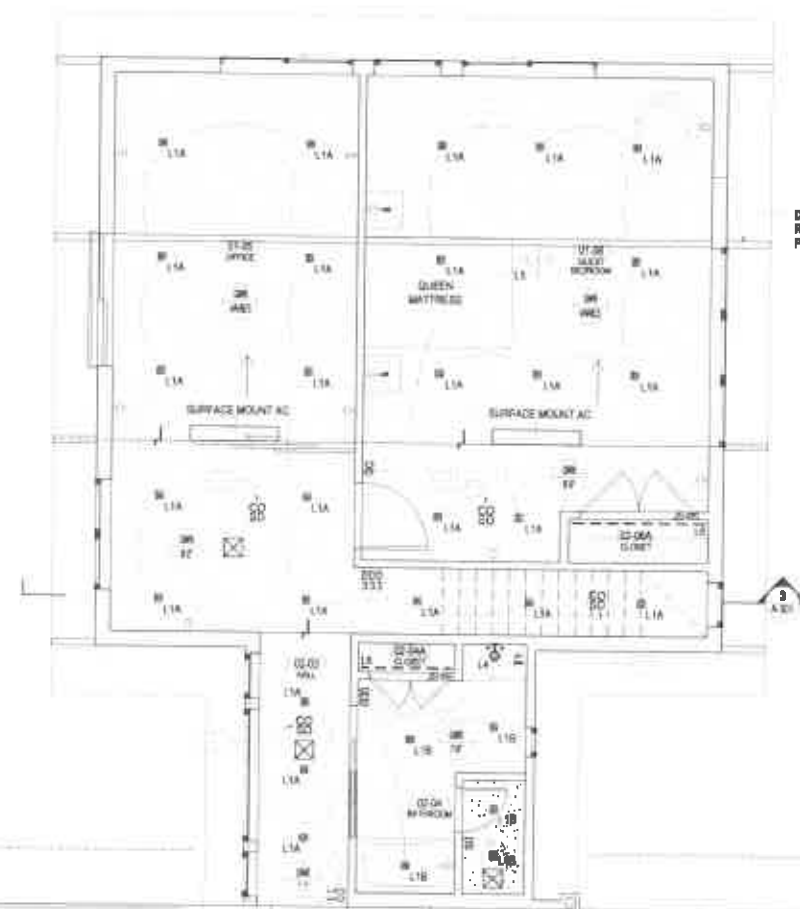
SHEET TITLE  
**1ST & 2ND FLOOR  
 REFLECTED CEILING PLAN &  
 POWER/ SIGNAL**

SEAL & SIGNATURE

**A-102.00**

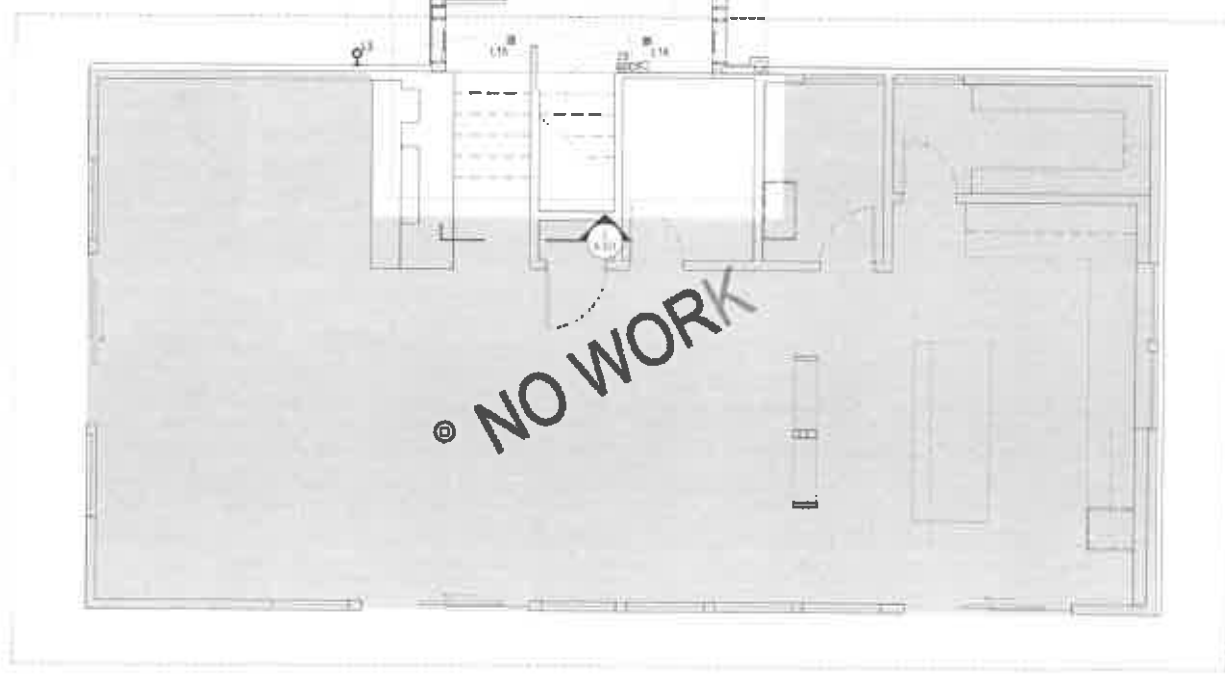
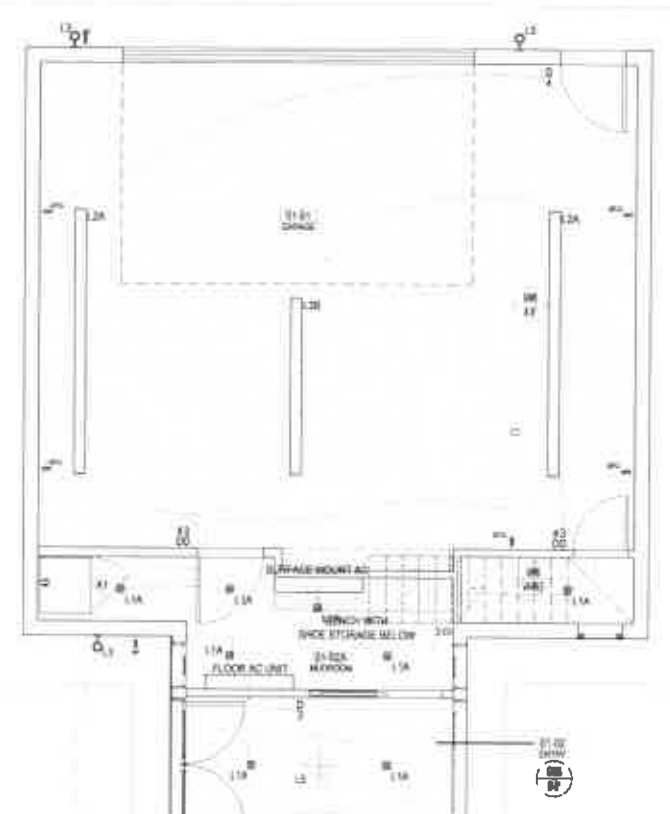
8 of 12

DECORATIVE PROPOSED BEAM  
 REVIEW BY CLIENT & ARCHITECT  
 PRIOR TO INSTALLATION



**2 SECOND FLOOR**  
 SCALE: 1/4"=1'-0"

SHEET KEY NOTES:  
 1. PROVIDE BACKUP CARBON MONOXIDE DETECTORS INSIDE BEDROOMS



**1 FIRST FLOOR**  
 SCALE: 1/4"=1'-0"

GENERAL SHEET NOTES:  
 1. GARAGE TO BE FULLY SEALED ALL AROUND TO PREVENT CARBON MONOXIDE/ SMOKE FROM ENTERING LIVING QUARTERS  
 2. ALL NEW LIGHT FIXTURE TO BE ENERGY EFFICIENT LED



ARCHITECT:  
**JR JANKO RASIC ARCHITECTS**  
 Janko Rasic Architects, PLLC  
 109 East 37th Street  
 New York, NY 10016  
 212.685.9500  
 www.jankorasic.com

CONSULTANTS:  
 STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E.**  
 13 WOODLAND DRIVE, GARRISON, NY 10524  
 Tel: 845.424.8118  
 Web: WWW.CARR-ENG.COM  
 CONTACT: MICHAEL CARR  
 MCARR@CARR-ENG.COM

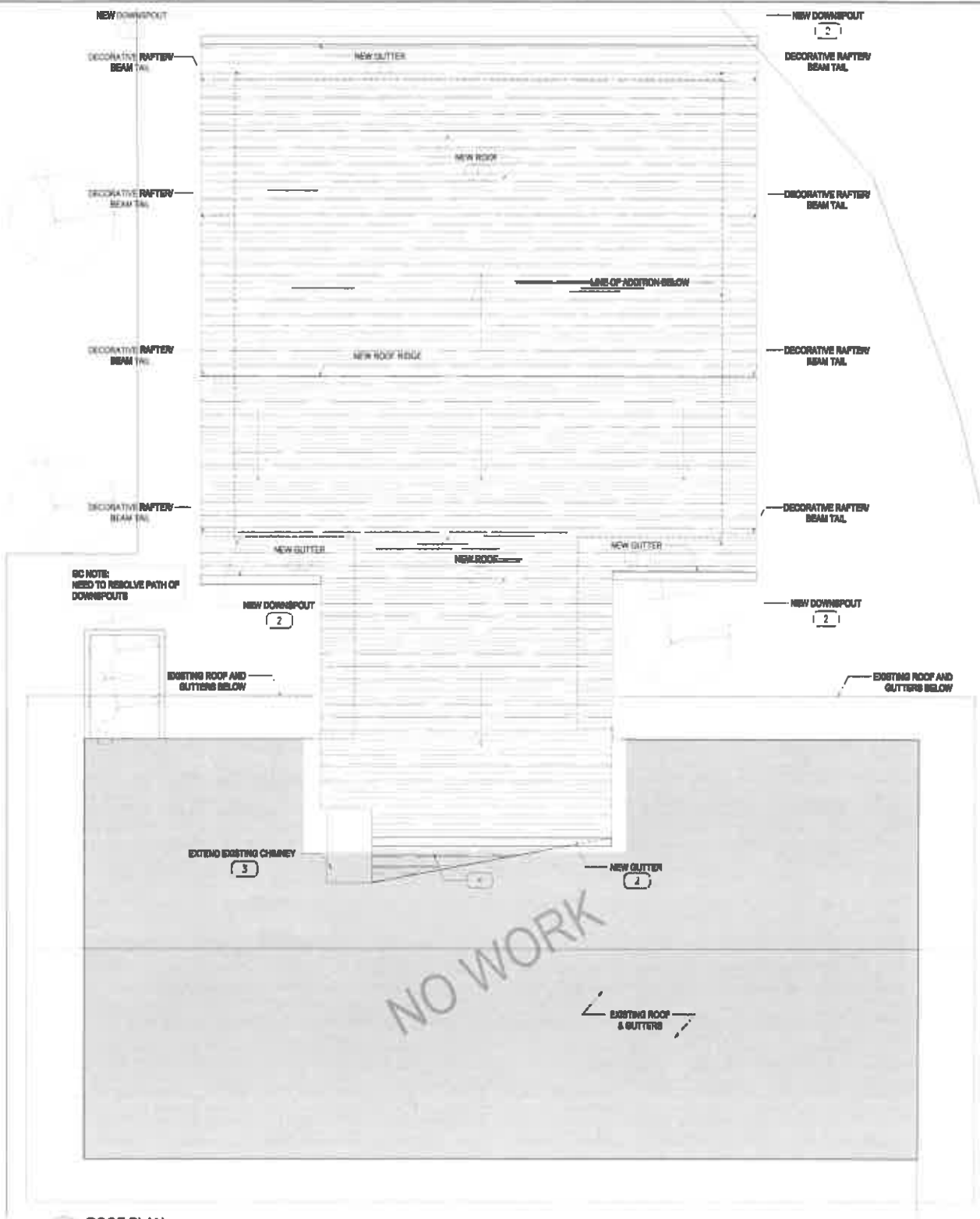
NOTES:  
 SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
 SEE SCHEDULES ON DRAWING GN-004.00  
 MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	08.18.21	WETLANDS APPLICATION
3	08.17.21	ADDENDUM 1
2	08.07.21	FOR SHD PERMIT
1	04.12.21	ISSUE TO ENGINEER

PROJECT  
**PARK-LESSER RESIDENCE**  
 83 PHILPSE BROOK ROAD, GARRISON, NY 10524

SHEET TITLE  
**ROOF PLAN**

SEAL & SIGNATURE  
 00 00 00  
 2024-01  
 AA  
 TB  
 T&E  
**A-103.00**  
 CAD FILE No:  
 A103\_00.dwg 8 of 12



**1 ROOF PLAN**  
 SCALE: 1/4"=1'-0"

**GENERAL SHEET NOTES:**

**SHEET KEY NOTES:**

1. NEW ARCHITECTURAL ASPHALT SHINGLE ROOF TO MATCH EXISTING W/ ICE & WATER SHIELD UNDERLAYMENT
2. PAINTED ALUMINUM ROOF GUTTER SYSTEM MANUFACTURED BY BERGER BUILDING PRODUCTS INCLUDING BUT NOT LIMITED TO PAINTED 2"X ALUMINUM HALF-ROUND GUTTERS, 4" ROUND DOWNSPOUTS WITH 1/2" DOWNSPOUT WITH GUTTER GUARD, 1/2" AND 3/4" GUTTER HANGERS, #31 PIPE CLIMB FOR DOWNSPOUT HANGING GUTTER GUARD, AND ROUND WIRE STRAND GUTTERS SHALL BE IN IN TO SURFACE DRAINAGE SYSTEM CONDUCTORS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. PROVIDE APPROPRIATE FLASHING AROUND EXTENDED CHIMNEY
4. ROOF CRACK

ARCHITECT:

**JR JANKO RASIC ARCHITECTS**  
Janko Rasic Architects, PLLC  
100 East 37th Street  
New York, NY 10016  
212.485.9500  
www.jankorasic.com

CONSULTANTS:

STRUCTURAL ENGINEER:  
**MICHAEL P. CARR, P.E.**  
13 WOODLAND DRIVE, GARRISON, NY 10624  
Tel: 848.424.8110  
Web: WWW.CAR-ENG.COM  
CONTACT: MICHAEL CARR  
MCARR@CARR-ENG.COM

NOTES:

SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
SEE SCHEDULES ON DRAWING GN-004.00  
MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	05.18.21	WETLANDS APPLICATION
3	05.17.21	ADDENDUM 1
2	05.07.21	FOR BID PERMIT
1	04.18.21	ISSUE TO ENGINEER

PROJECT  
**PARK-LESSER RESIDENCE**

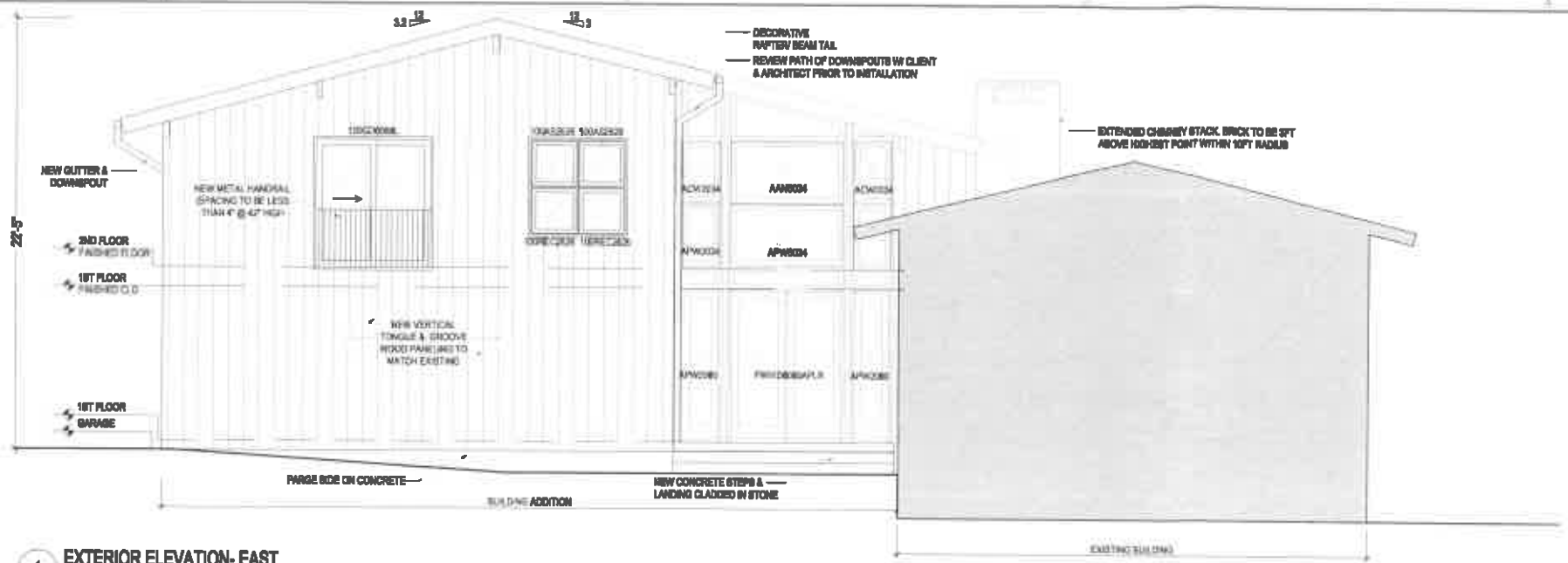
63 PHILPSE BROOK ROAD, GARRISON, NY 10624

SHEET TITLE  
**1ST & 2ND FLOOR EXTERIOR ELEVATIONS**

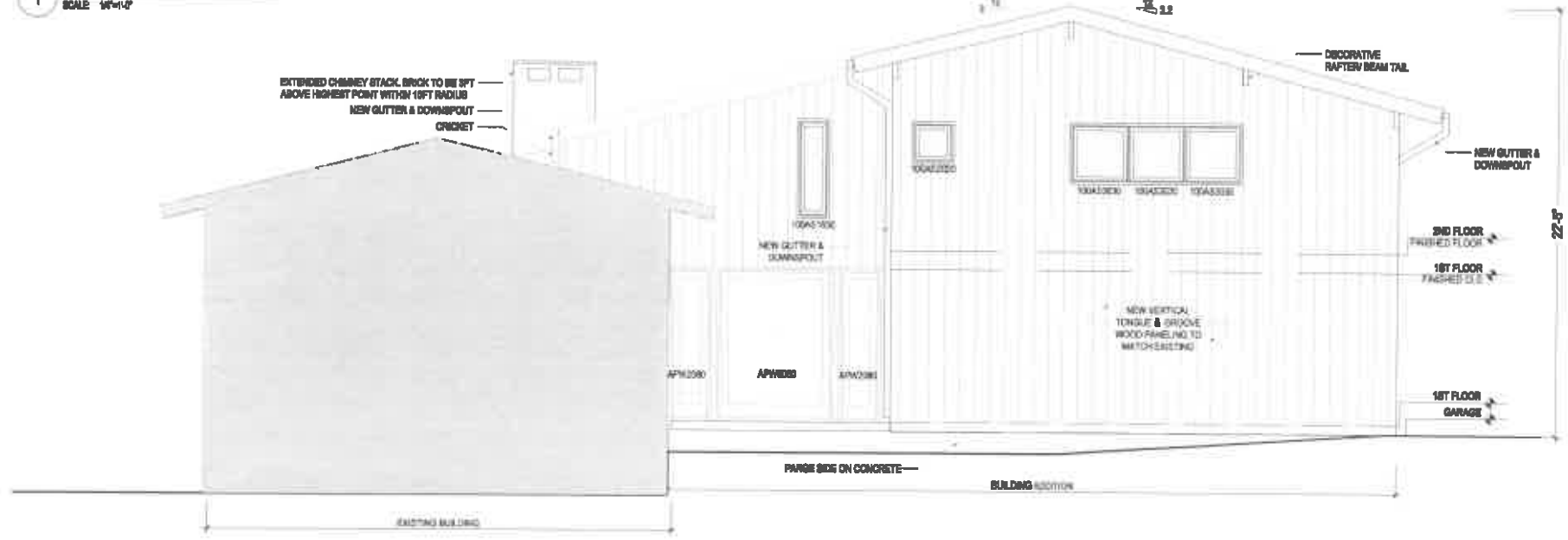
SEAL & SIGNATURE



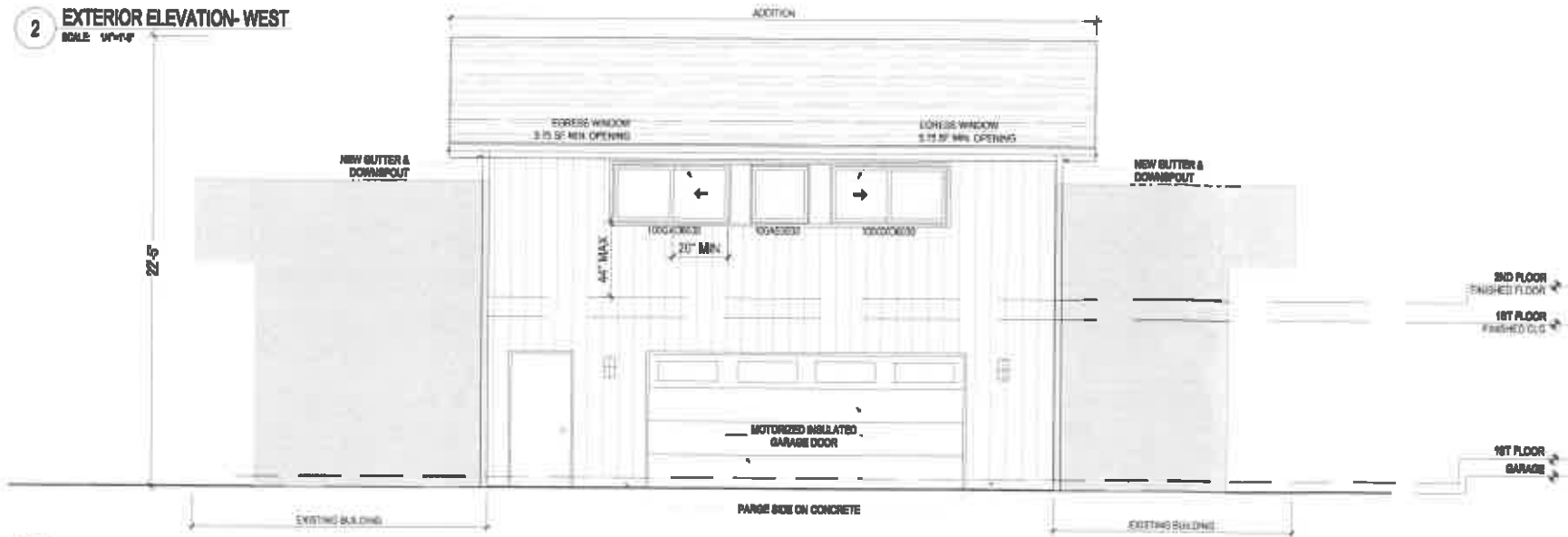
DATE: 05.03.21  
PROJECT No: 2008-01  
DRAWN By: AA  
CHECKED By: TR  
SCALE: 1/8"=1'-0"  
DRAWING No: **A-201.00**  
FILE No: 10 of 12  
WWW.JANKORASIC.COM



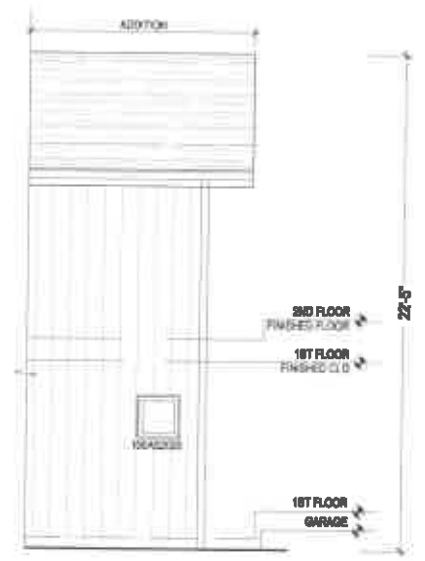
**1 EXTERIOR ELEVATION- EAST**  
SCALE: 1/8"=1'-0"



**2 EXTERIOR ELEVATION- WEST**  
SCALE: 1/8"=1'-0"



**3 EXTERIOR ELEVATION- SOUTH**  
SCALE: 1/8"=1'-0"



**4 PARTIAL EXTERIOR ELEVATION- NORTH**  
SCALE: 1/8"=1'-0"


NOTES:  
 SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
 SEE SCHEDULES ON DRAWING GN-004.00  
 MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	08.18.21	WETLANDS APPLICATION
3	05.17.21	ADDENDUM 1
2	05.07.21	FOR SEY PERMIT
1	04.18.21	ISSUE TO ENGINEER

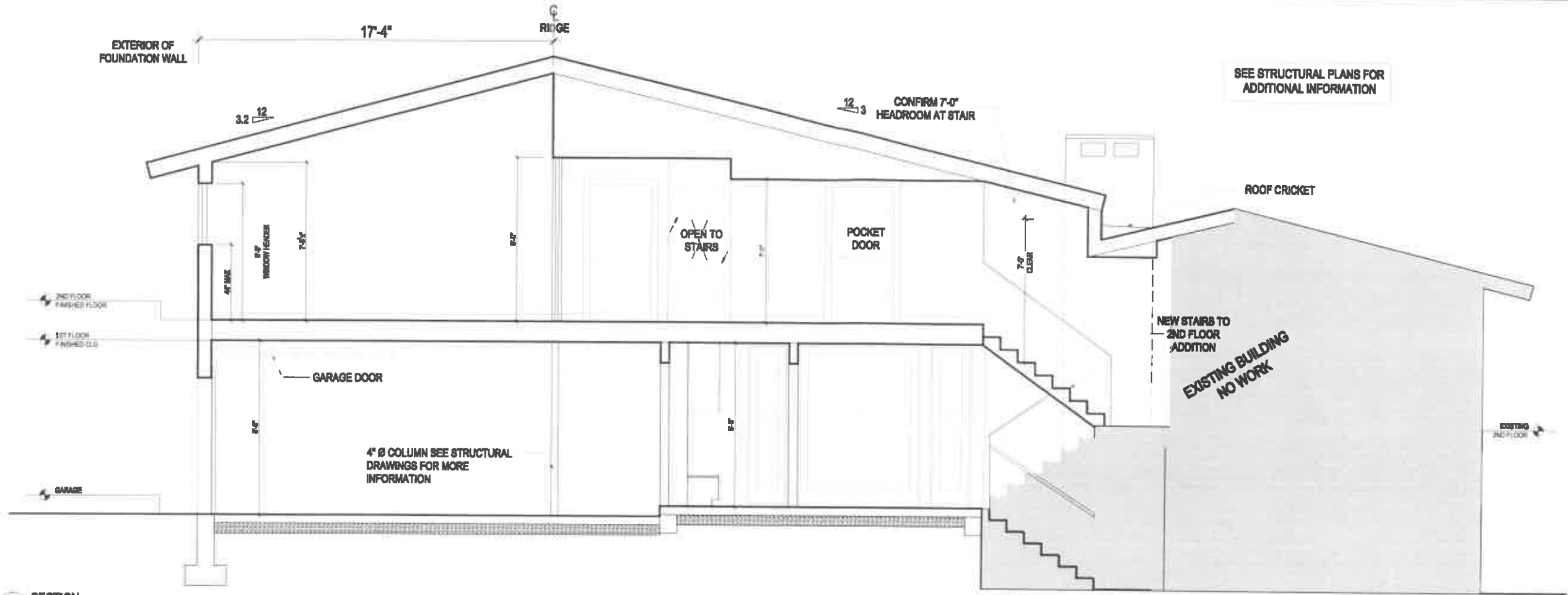
PROJECT:  
**PARK-LESSER RESIDENCE**  
 83 PHILPBE BROOK ROAD, GARRISON, NY 10524

SHEET TITLE:  
**1ST & 2ND FLOOR BUILDING SECTIONS & CONSTRUCTION DETAILS**

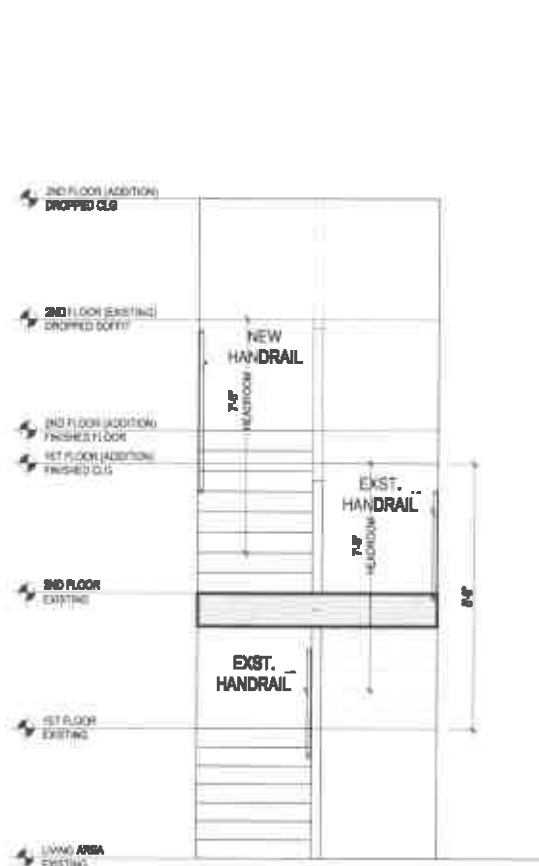
SEAL & SIGNATURE



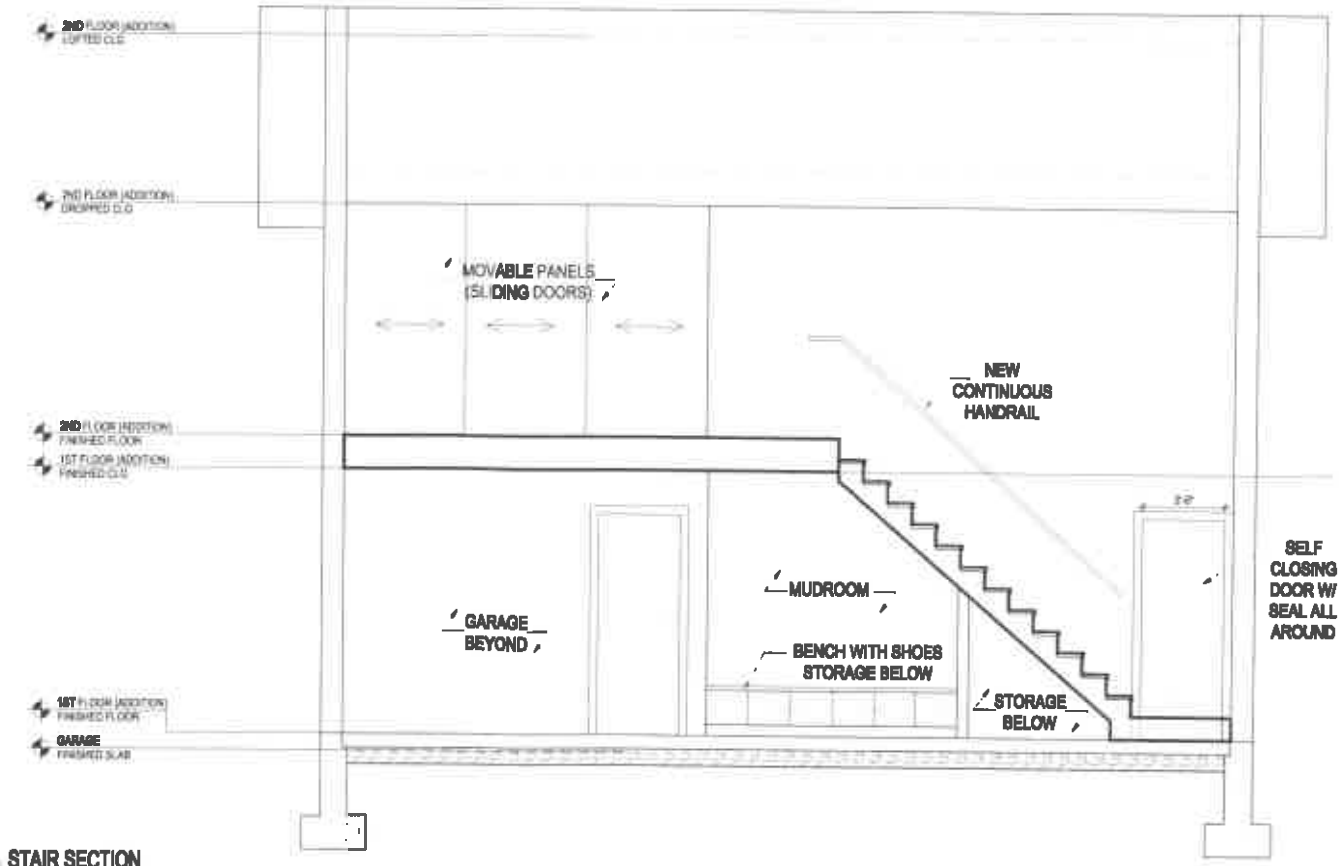
00:00:00  
 2024-01  
 AA  
 TR  
 3/8" x 1/4"  
**A-301.00**  
 11 of 12



1 SECTION  
 SCALE: 1/8"=1'-0"

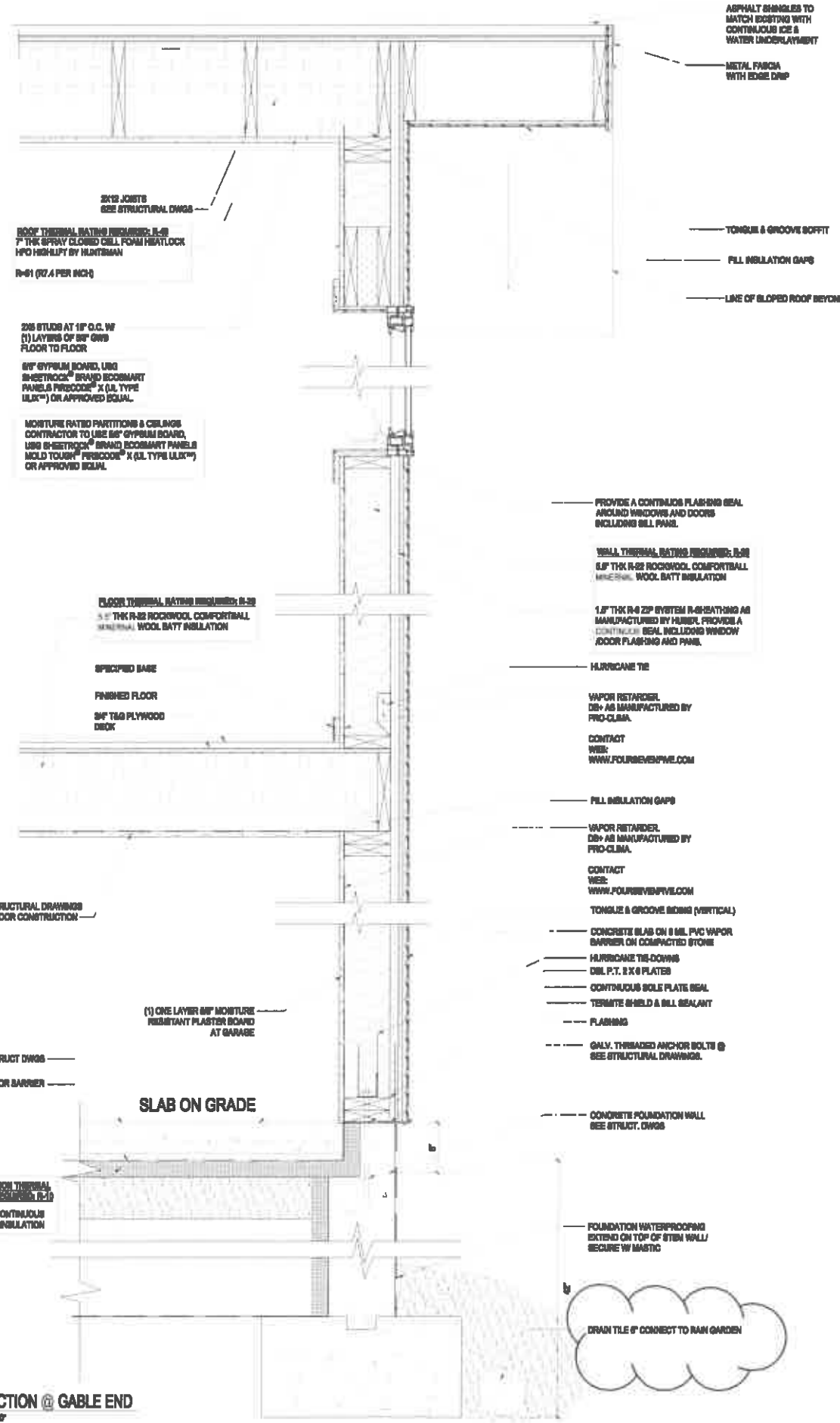


2 STAIR DIAGRAM  
 SCALE: 3/8"=1'-0"



3 STAIR SECTION  
 SCALE: 3/8"=1'-0"





**WINDOW NOTES:**

1. THE INSTALLER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE WINDOW INSTALLATION AND IS TO ASSURE THAT THE QUANTITY AND SPACING OF ANCHORS IS BASED UPON THE EXISTING CONDITIONS, EXPOSURE, AND HEIGHT OF THE WINDOW INSTALLATION WITHIN THE BUILDING.
2. THE PERIMETER OF ALL NEW WINDOWS MUST BE SEALED WITH A HIGH QUALITY URETHANE SEALANT (20 YEAR MINIMUM), COLOR IS TO MATCH THE WINDOW FRAME.
3. WINDOW SPECIFICATIONS AND INSTALLATION COMPLIANCE WITH THE PROVISIONS OF NYSECC.
  - A. LOW "E" GLAZING IS REQUIRED FOR COMPLIANCE WITH THE ENERGY CODE.
  - B. THE WINDOWS MUST MEET NFRC 600 REFERENCE STANDARD FOR TESTING AIR LEAKAGE AS PER NYSECC.
4. PROVIDE CERTIFICATION LABELS AND TEST REPORTS. THEY ARE TO DESCRIBE THE FOLLOWING:
  - A. PERFORMANCE CLASS
  - B. CONSTRUCTION
  - C. GLAZING TYPE AND THICKNESS
5. THE CONTRACTOR IS TO MAINTAIN A SAFE SITE AND IS FULLY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE REGULATIONS REGARDING SITE SAFETY.
6. ALL NEW WINDOWS WILL BE ENERGY EFFICIENT.

**WINDOW SPECIFICATIONS:**

1. WINDOWS TO MATCH HOUSE STANDARD FINISHES, INCLUDING CASING & SILL.
2. GC TO VERIFY WINDOW SIZES & OPERATION REQUIREMENTS.
3. ALL GLAZING TO BE TEMPERED, CLEAR, THERMAL, LOW E W ARGON GAS.
4. PROVIDE SHOP DRAWINGS FOR ALL WINDOWS AND INSTALLATION DETAILS.
5. PROVIDE REMOVABLE NYLON SCRIBES ON ALL OPERABLE WINDOWS.
6. ALL WOOD WINDOW INTERIORS TO BE PAINTED.
7. ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' DETAILS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO: BUILDING TAPE, COPPER PAN FLASHING WITH J CHAIR, FOAMED INSULATION IN ALL PERIMETER CAVITIES TO COMPLY WITH CODE.

**DOOR & FRAME NOTES:**

1. ALL WOOD DOORS TO MATCH HOUSE STANDARD (M/F U.N.O.).
2. CENTERLINE OF ALL LEVERNS TO MATCH HOUSE STANDARD (M/F).
3. CONTRACTOR TO VERIFY COMPATIBILITY OF ALL HARDWARE SPECIFIED FOR BOTH NEW AND EXISTING DOORS. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO SUBMITTING BID FOR THE PROJECT.
4. VERIFY HARDWARE FINISHES WITH ARCHITECT.
5. CONTRACTOR TO VERIFY LOCKSET MODEL AND FUNCTIONAL CLOSER TYPE (HOLD, STOP, ETC.), FOR EACH HARDWARE SET AND SUBMIT TO ARCHITECT FOR REVIEW.
6. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DOORS FOR EXISTING HARDWARE CONDITIONS PRIOR TO ORDERING REQUIRED HARDWARE.
7. ALL HARDWARE TO BE INSTALLED PER MANUFACTURERS' SPECIFICATIONS.
8. ALL STAIRS TO BE SHOP APPLIED.
9. ALL WD. DOORS TO BE UNDERCUT 3/4" (U.N.O.).
10. DOORS TO MATCH HOUSE STANDARD (M/F U.N.O.).

**HARDWARE TYPES**

- H-1 - LOCKSET (PRIVACY OR ENTRANCE)**  
 MORTISED LOCKSET  
 DOOR STOP  
 CLOSER (AT INTERIOR GARAGE DOORS)  
 1 X2 MORTISED BUTT HINGES
- H-2 - BATHROOM POCKET DOOR**  
 BICOCEPT BLADE FLUSH FINISH POCKET DOOR BY STUDIO BUILDING SYSTEM.  
 CHAMF TIRE  
 CHWLOCK CLASS MAGNETIC MORTISED SLIDING DOOR PRIVACY FUNCTION
- H-3 - SLIDING DOORS (MOVEABLE PANELS)**  
 HARR SLIDING HARDWARE (HEAVY DUTY) OR EQUAL  
 CHWLOCK CLASS MAGNETIC MORTISED SLIDING DOOR PRIVACY FUNCTION
- H-4 - CLOSET DOORS**  
 3 BKT CENTER PIVOT HINGES  
 2 FLUSH PULLS  
 2 MAGNETIC CATCH

**ARCHITECT:**

**JR JANKO RASIC ARCHITECTS**  
 Janko Rasic Architects, PLLC  
 137 East 17th Street  
 New York, NY 10016  
 212.688.9020  
 www.jankorasic.com

**CONSULTANTS:**

**STRUCTURAL ENGINEER:**  
**MICHAEL P. CARR, P.E.**  
 13 WOODLAND DRIVE, GARRISON, NY 10824  
 Tel: 845.424.8119  
 Web: WWW.CAR-ENG.COM  
 CONTACT: MICHAEL CARR  
 MCARR@CARR-ENG.COM

**NOTES:**

SEE ADDITIONAL CONSTRUCTION NOTES ON DRAWING GN-003.00  
 SEE SCHEDULES ON DRAWING GN-004.00  
 MECHANICAL DRAWINGS FILED UNDER SEPARATE APPLICATION

4	08.18.21	WETLANDS APPLICATION
3	08.17.21	ADDENDUM 1
2	08.07.21	FOR BIDD PERMIT
1	04.18.21	ISSUED TO ENGINEER

**PROJECT**

**PARK-LESSER RESIDENCE**  
 55 PHILIPSE BROOK ROAD, GARRISON, NY 10824

**SHEET TITLE**

**BUILDING SECTION, DOOR/WINDOW SPECIFICATIONS & NOTES**

**SEAL & SIGNATURE**

08-30-21  
 2026-01  
 J.R.  
 J.R.  
 6:52+1:07

**A-501.00**

C FILE No: 18 of 12  
 JANKO\_RASIC\_ARCHITECTS.dwg

**1 WALL SECTION @ GABLE END**  
 SCALE: 1/8"=1'-0"