

**TOWN OF PHILIPSTOWN
CONSERVATION BOARD
238 Main St., Cold Spring, NY 10516**

**October 17, 2016 7:30 PM
REVISED
MEETING AGENDA**

1) Approval of Minutes:

- July 12, 2016
- September 13, 2016

2) Correspondence:

--None--

3) Old Business:

- **a. Edward Mackin** TM# 17.-3-8 WL# 16-273
547 East Mountain Rd. Cold Spring
(Excavation of part of the yard and remove material placed in driveway)
- **b. Jessica Crofts, 54 Lyons Road, Cold Spring** (TM# 27.7-1-39)
(DEC permit package and DEC permit approval)

4) New Business:

- **Jared and Carolina Della Valle** TM# 39.-2-21.2
20 Jay St. Suite 1003, Brooklyn, NY
Property address – 117 Round Hill Road, Garrison
(Planning Board review - seeking comments regarding potential environmental concerns)

5) Storm water Discussion:

6) Previous applicants still pending information:

- **Glenn Baumler (GDB Holding Co. 5 Winston Lane, Garrison (TM# 83.17-1-6)**
Board will make site visits during the process of driveway excavation.
- **H.J. Rossouw, 15 Ox-Yoke Road, Garrison (TM# 90.8-2-6)**
Applicant must get letter from Highway as to what highway requires.
- **David and Johanna Brenner, 530 East Mountain Road South**
Renewal of Wetland Permit
- **Doug Banker Kings Dock Road** – Information requested at the September 13 meetings

Board Business:

- Discuss date change for the November 8th meeting.

**TOWN OF PHILIPSTOWN CONSERVATION BOARD
238 MAIN STREET, COLD SPRING, NY 10516**

July 12, 2016

MINUTES

The Conservation Board held its regular meeting at the Town Hall on Tuesday, July 12, 2016

Present: Mark Galezo, (Chairman)
David Klotzle (Wetlands Inspector)
Andrew Galler
Max Garfinkle
Lew Kingsley
Eric Lind
Robert Repetto

Absent: M. J. Martin

**** PLEASE NOTE that these minutes were abstracted in summary from the meeting and a taped recording.**

Mr. Galezo opened the meeting at 7:31 P.M.

1. Lakeisha T Esau

66 Highland Drive Garrison.

TM#90.8-2-41

WL# 16-269

Mr. Martin Friedman represented the applicant. The Applicant proposed to expand an existing lower deck and add Piers. Part of the expansion comes within 100 feet of the wetlands. Mr. Klotzle noted that the stream is an intermittent stream that comes from above Winston Lane.

The piers for the deck are going to be hand dug. 12 inch Sonotubes will be used on a 2X2 which will be belled out at the bottom. The silt fence is shown on the drawings that were submitted by the applicant. Mr. Friedman noted that most of the dirt that will be hand dug out of the hole will be spread out in that same area. Most of the work being done will be done under the deck.

Mr. Lind noted the code requires that a map must be submitted showing the 100 foot buffer from the intermittent stream. Mr. Klotzle noted that one copy for the file is sufficient and the buffer can be hand drawn on the map.

Mr. Galler moved to grant the permit and Mr. Kingsley seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye

Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Absent
Mr. Repetto	Aye

2. Robert and Lauren Bresnan

31 Nelson Lane Garrison

TM# 60.-18-1-54

WL#16-270

Mr. Thomas Lewis from Trillium Invasive Species Management, Inc. represented the home owners. The Applicants are proposing to control invasive species of plants on their property. Mr. Lewis reviewed the invasive species and how they were going to be controlled. Mr. Lewis noted that the neighbor is not in favor of the proposed project. Mr. Lewis discussed various chemicals that will be used and the Board asked about the chemical toxicity and personal protection that is worn during the use of the chemicals.

Mr. Repetto recommended to Mr. Lewis that he and his workers look at the MSDS sheets to see what the amount of recommended daily exposure is for the chemicals they use.

Mr. Galler suggested guarding small trees with plastic that have a 4 inch stump or less, such as Maples that are located near an existing wall.

Mr. Klotzle noted he had tried to contact the Lanza's who are the applicants neighbors to the east, to discuss their concerns over the use of the Garlon 4 Ultra and other chemicals that will be used.

Mr. Lewis noted he will do a revisit in about four weeks to review the status of the control. Mr. Lewis noted that some plants will come back the next year. There is a three year commitment. Mr. Garfinkle suggested a permit with a longer term for this project.

The Board asked for the following items:

- A copy of the chemical label.
- MSDS sheets from the chemical/chemicals being used.
- A report after each visit noting what control was successful and what was not successful will be needed for the first year. Mr. Klotzle added after the first year, one report for the year is all that is needed.

Mr. Galler moved to grant the permit and Mr. Kingsley seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Absent
Mr. Repetto	Aye

3. Mini Workshop with Nicole Pidala

Ms. Nicole Pidala reviewed with the Board her progress with the work she has been doing updating the Open Space Inventory List. Ms. Pidala discussed and reviewed a packet she submitted showing the work that has been done so far. The Board members asked for the following items:

- An over all summary of the changes that are being recommended (which Ms. Pidala reviewed during the presentation).
- A breakdown of the generic items and suggested identifying changes on a map perhaps by color.
- A summary of the work Ms. Pidala has done to go along with a map.
- revisit some of the parcels which changed to review the current status or impact of them.
- Suggested that Ms. Pidala should take photographs of the places she has visited that could be used for documentation purposes.

Ms. Pidala asked for feedback from the Board members and noted she will work on what the Board recommends.

Mr. Lind discussed and suggested a separate project to review the proposed rise of the river in riverfront towns such as Kingston.

4. Board Business:

Mr. Glenn Watson noted that earlier this week he submitted the paperwork that was requested by the Board from the last meeting for the following two permits:

- Boscobel Restoration (Peter Davoren), 1601 Route 9D, Garrison.
- Edward Kreps, 10 Deerland Acres, Cold Spring.

The Board members noted that they received the paperwork very recently and they did not have enough time to review all of it. Mr. Galezo reviewed the minutes from the June 14th, 2016 meeting with the Board and the Mr. Watson regarding the conditions and suggestions recommended by the Board for the two applicants listed above.

Mr. Klotzle noted that at the last meeting there was a discussion over a SWPPP for Mr. Kreps a Notice of Termination had been done and therefore no SWPPP will be needed for this project.

5. Minutes:

- The minutes of September 15, 2015 were reviewed. Mr. Galler moved to accept the minutes and Mr. Kingsley seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Absent

Mr. Repetto Aye

- The minutes of June 14, 2016 were reviewed. Mr. Lind moved to approve the minutes and Mr. Garfinkle seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	abstained
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Absent
Mr. Repetto	Aye

Mr. Kingsley moved to adjourn the meeting and Mr. Galler seconded the motion. The meeting adjourned at 8:30 P. M.

**** NOTE: These minutes were prepared for the Conservation Board and are subject to review, comment, emendation and approval thereupon.**

DATE APPROVED: _____

Respectfully submitted,

Linda Valentino
Secretary

**TOWN OF PHILIPSTOWN CONSERVATION BOARD
238 MAIN STREET, COLD SPRING, NY 10516**

September 13, 2016

MINUTES

The Conservation Board held its regular meeting at the Town Hall on Tuesday, September 13, 2016.

Present: Mark Galezo, (Chairman)
Chris Robins from AKRF (Wetlands Consultant)
Andrew Galler
Max Garfinkle
Lew Kingsley
Eric Lind
M. J. Martin
Robert Repetto

**** PLEASE NOTE that these minutes were abstracted in summary from the meeting and a taped recording.**

Mr. Galezo opened the meeting at 7:34 P. M. with a moment of reflection and remembrance for Mr. David Klotzle since his sudden passing.

New Business:

1. Edward Mackin, 547 East Mountain Road, Cold Spring (TM#17.-3-8)

Mr. Mackin reviewed his proposal by noting he had been to the Building Department for a back yard deck and was within the setbacks. He then expanded the back yard which required a wetlands permit. Mr. Mackin noted that nobody in the building department mentioned anything about a wetlands permit. A little of the material removed from the back yard was placed around the driveway by the contractor by accident.

Mr. Galezo noted since the agenda is large there will be a time limit of two minute for public comments regarding any agenda item.

Mr. George Polich explained that the cut made on Mr. Mackin's property was over 3000 square feet and noted he had pictures and a video showing the work being done. Mr. Polich reviewed a past incident. Mr. Polich noted that since the removal of the dirt brown water is running into a protected wetland which he noted he had a video of.

Mr. Mackin noted the deck and the removal of the soil are independent of each other and noted that the footings for the deck are in and asked if he can continue working on the deck. The Board members discussed the application and the stop work order. The Board members requested the following:

- An as built survey showing the 100 ft. wetland buffer and cubic footage of soil removed.

- Show on survey where the silt fence is going to go.
- Removal of material put around the driveway.
- narrative of course of events including location of silt fence and all other erosion controls and protections, cubic yardage of material being moved.

The Board members scheduled Mr. Mackin to come back next month with the items listed above to continue the process of remediation and inspections so he can continue the work on the deck.

Mr. Polich noted that the Town Code states that if caught doing work in a wetland without a permit that work cannot continue for one year. Mr. Polich apologized for being hard regarding the situation but this is the second time he has gone through a situation like this with this neighbor.

Mr. Galezo thanked Mr. Polich for his comments.

2. James and Melanie Matero, 32 Hudson River Lane Garrison (TM# 89.7-1-6)

Mrs. Matero reviewed her permit application for an existing dock. Mrs. Matero noted that she went to the Building Department and was told she did not need a Town Permit for the dock. She had gotten permits from the DEC and the Army Corp of Engineers. The Board members discussed and reviewed the application. Mr. Galezo noted that a small amount of concrete was poured for stairs that lead to the dock. Mr. Galler moved to accept this application as a minor significance. Mrs. Martin seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Aye
Mr. Repetto	Aye

A permit for minor significance will be processed and given to the applicant.

3. Glenn Baumler (GDB Holding Co. 5 Winston Lane, Garrison (TM# 83.17-1-6)

Mr. Baumler requested a wetlands permit for the lower end of the driveway and noted he had been issued a driveway permit. He was told by Mr. Klotzle that the work being done was 100 feet within Sprout Brook stream which is across the street. Mr. Baumler was told by Mr. Klotzle to fill out the proper paperwork and have an engineer draw up a plan to manage the work as it was being done. Mr. Baumler noted that at the time Mr. Klotzle inspected the work and was satisfied with the location of the hay bales at the end of the driveway and at the entrance of the pipe. Mr. Galezo noted that several Board members did a site visit to the property. Mr. Baumler noted that the Town of Philipstown Highway Superintendent (Carl Frisenda) asked him to replace a 15" culvert with an 18" culvert and noted he complied with that and everything else he was asked to do. The driveway will be paved, there will be a rip rap soil with a check dam every 25' to slow the water before it gets to the road. There is a retention pond on the property as well as infiltrators for any roof drainage before it gets down to the property. A hydrology study for the amount of water going onto the property has not been done. The lot is over an acre and one house is being proposed on the property. It was noted that Sprout Brook is a

town regulated waterway. The last few feet of the driveway cut close to the road is in the buffer. Mr. Baumler noted he did not believe the cut will cause as big of a disturbance as shown on the plans. The plans show the worst case scenario. The area will be vegetated and most likely retaining walls will be used. Mr. Baumler noted that the state does not have to get involved since less than an acre is being disturbed. The Board discussed mitigation to protect the stream at the end of the driveway both during and after construction. Mr. Baumler noted that the hay bales will be put back in place at the end of every day as well as adding more hay bails on the construction site as the work progresses up the slope. Mr. Garfinkle expressed concern over the erosion control measures as the work is being done to bring the driveway higher on the slope. The Board members suggested making a post inspection to the site to make sure the drainage system is working properly. Mrs. Martin moved to approve the application with the following conditions:

- An as-built map when the driveway construction is complete.
- Have an engineer calculate the velocity and calculation of the water and what type of water will be coming in over 5 or 10 year event and what they would be done in that case.
- Follow up on site inspections periodically to make sure all erosion control measures are in place when they get to that point with the machinery. Since trees have been removed there was concern over the function of the erosion control measures to hold the soil during a heavy rain.

Mr. Galler seconded the motion. Mr. Lind abstained since he was not able to do a site visit. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Abstained
Mrs. Martin	Aye
Mr. Repetto	Aye

Knowing the class of the stream was suggested Mr. Baumler was told to let the Board know when enough progress has been done of cutting the driveway with the machinery to install the erosion controls so the Board can do an erosion control inspection.

4. Jessica Crofts, 54 Lyons Road, Cold Spring (TM# 27.7-1-39)

Mrs. Crofts proposed to put a 22X36 (about 792 square feet) green house on her property. The entire property is within the 100 foot wetlands buffer zone. Mrs. Crofts noted that she had previously worked closely with Mr. Klotzle and was told by Mr. Klotzle to draw the location of the green house on the plan and submit details about the rain garden. Both items have been done and submitted. She was told by Board members during a site visit that she would need to get a DEC Permit. Mrs. Crofts noted she did contact the DEC. Mrs. Crofts noted the first thing that needs to be done is that the property must be delineated. The process for the permit should take about two months. Mrs. Crofts then noted she contacted Jason Synder from Badey and Watson, who will help her after the delineation has been completed. Mrs. Crofts asked the Board if they can approve the permit with the condition of being approved by the DEC. The power and water for the green house will come from the main house. Soil disturbance will be minimal. Barrett Pond is around her property which is the reason a DEC permit is needed.

The Board requested the following:

- A survey which includes the location of utilities such as water and electric.
- The Board requested a copy of the whole packet that was sent to the DEC.

5. H.J. Rossouw, 15 Ox-Yoke Road, Garrison (TM# 90.8-2-6)

The Applicant proposed a catch basin at the end of the driveway near Ox-Yoke Road. Currently there is a 24 inch pipe that goes under the road. The Putnam County Department of Health requested a culvert to be placed from the man hole under the road. Mr. Rossouw noted that the Town of Philipstown Highway Department is involved as well as the Health Department in this project. The Board members commented on the complexity of the proposal, recommended Mr. Rossouw to get information of what is needed from the Highway Department for clarification of the proposal. Mr. Steve Marino reviewed the original project as follows: A portion of the watercourse was being piped and then a surface diversion was going out around to get down to the road to an existing culvert under Ox-Yoke. There was a little structure that was built to divert the water into the existing culvert under the road.

6 Susan Green, Dick's Castle Road, Garrison (TM# 49.-1-74)

Mr. Dana Simmons explained that Ms. Green was interested in purchasing the property known as Lot 1 on Dick's Castle Road. She is only interested in purchasing the property if she can build a house in a location that is away from the bridge on Route 9D. The portion of the lot by the bridge has been approved for building. It is believed that the section of the lot which Ms. Green is interested in building on is within 100 feet of an intermittent stream. Mr. Simmons noted the intermittent stream looks to be man made. Mr. Simmons presented plans showing the proposed septic (which will remain in the same location) as well as the location of the previously approved structure. A regulated stream even if it is intermittent requires a 100 ft. buffer. The Board member noted that currently there is no one qualified do a wetlands determination. The Board members suggested to Ms. Green to flag where each corner of the proposed house will be. After the flags are in place the Board members will do a site visit. The Board noted they are currently looking for a qualified person with the right credentials to do determinations.

Old Business:

1. Douglas And Sarah Banker, 43 Kings Dock Road, Garrison (TM# 81.-1-27.2)

Mr. James Hartford and Mr. Steve Marino represented the applicants. Mr. Marino reviewed the three permits that are still open as being the following:

- One is the temple.
- Second one was for a cottage.
- Third one was for clean up and restoration.

Recently there had been a couple of site visits by some Board members and Mr. Klotzle on the property.

The septic was repaired and grass has been grown over it.

The Board members noted that Greek Temple: there is run-off going down the stairs and into the marsh.

The Board members expressed concern over the amount of remediation that was done and asked if the plantings could be flagged. Mr. Marino noted that he took an inventory of the plantings missing which was as follows: 6 blueberry bushes, 4 spiraea, 7 Winterberry, 5 Clethra, Summersweet and 2 Virburnum. More planting will be done in the fall. Mr. Marino noted that a lot of the plantings that were cut down has grown back and a lot of what was planted was covered in the Mugwort.

5 Spice bushes were found there are now 33

7 bayberries did not survive and they will be replaced with mountain laurel

11 Huckleberry or blueberry will be planted at the base of the stone out cropping now that the septic work is done.

The Board asked for the following:

- The board requested to have a description of the drainage system of both buildings shown on the next set of site plans.
- An as-built and an overlay of what was originally permitted on the plans. Mr. Hartford noted he will get electronic file from Badey and Watson and overlay the two.
- More plantings - any plantings that did not survive should be replaced as well as add plantings that have not yet been planted.
- Stiltgrass should be removed as well as a plan to reduce other invasive species.
- A previously requested invasive species monitoring on the site including a report. Mr. Marino noted he does an end of season growing report and he will submit it to the Board. They are currently before the DEC to get permits to remove the Knotweed. Mr. Marino will present a letter to the Board from Metro North allowing the removal of the invasive species (Knotweed) in that area.
- The Board requested a copy of the DEC permit and application.
- The three open permits are all tied together in terms of mitigation. The renewal for the permits have been paid for but not yet processed (WL# 15-247, 14-251 and 15-252).
- Erosion - run off from driveway, which will wash over the silt fence area and stabilize the driveway. Mr. Marino noted they are aware of it and knows the driveway must be lifted. A plan should be done so the Board can see what will be done.
- An as-built of all the plantings once the planting has been completed.

Mr. Lind reviewed a memo written in May from Mr. Klotzle to Mr. Marino regarding the following items that need to be done:

- Stabilize all disturbed soils on your site where possible.
- Repair and replace silt fences.
- Place a row of straw bails along the down slope of the driveway to catch runoff from the dwelling sites when traffic is not involved. Mr. Marino noted that has been completed and is covered in item 4 so it is no longer undisturbed.
- Repair and stabilize the gullies directing runoff from the driveway into the wetland. Mr. Marino noted that the driveway had since been tilted and a swale had been cleaned out to the existing culvert.
- Mr. Banker's permits have expired and must be renewed now.
- The trench by the septic field has no permit and you must file for one or fill it in. Mr. Marino responded that the trench has been filled in for several months.
- Remove silt from the stream and adjacent wetlands by hand. Mr. Marino noted that has been done.
- Possibility of a Storm Water permit The letter notes that in Mr. Klotzle's opinion more than an acre of soil will be disturbed. Mr. Marino noted that at no time was an acre of land disturbed. The Board members asked for documentation regarding the soil disturbance.

Mr. Marino noted that the As-builts have been ordered by Badey and Watson. When the plans are received by the Board members they will compare the maps of what was built to what was approved to be done. The As-builts will include the roof drains as well as the stairs and other masonry.

Mr. Hartford wanted to clarify the Knotweed and sediment removal by noting it could take a long time since a DEC permit is required. The DEC permit is for the Knotweed removal and construction of a new house.

Mr. Lind read the following: For area 6 the Japanese Knotweed will first be cut by portable brush cutter, remove the first 12 inches of accumulative sediments and then dealing with rhizomes. additional sediment will then be removed from area 6 in 12 inch layers and similarly stock piled until no Knotweed rhizomes remain. Area 4 excess material, rubble piles would be removed by machine and the area adjacent to the railroad tracks which is area 4 as well as the old foundation.

The Board must decide whether or not they want two permits one for the invasive species control and another one for the house.

The Board discussed how closing out the permits by telling the applicants representatives the following:

- Go above what is required.
- Get some sort of guarantee that there is going to be ongoing support of that continued protection of it.
- Having a bond in place except for the northern side which is not permitted yet but a guarantee that the northern side will be done.
- The plantings must be done.
- Draining issues resolved
- A review of the As-built survey.
- The Board will need to do a site visit after the draining issue is resolved and the plantings have been done. Mr. Hartford and Mr. Marino will let the Board know when they are ready. Mr. Marino will send a copy of the whole package that was sent to the DEC for the file.

The Board will discuss who can sign the permits with Councilman, Mike Leonard.

2. Martha Howell/ Ned Whitney, Route 403, Garrison (TM# 71.-2-16)

The proposal is for a small pond to be dredged and repaired. The dam leaks which prevents the pond from flowing over the spillway. The proposal is to pump around up and over the spillway and expose the base of the dam and patch the leaks and then refill the pond to give them the waterfall feature. The stream bank near Arden Brook will not be disturbed. Mr. Lind noted this is a minor issue which was just going to be signed by Mr. Klotzle rather than going before the Board. The Board reviewed the paperwork which included the permit application and the DEC Permit. Mr. Galezo read a letter from Mr. Whitney to Mr. Klotzle. Mr. Garfinkle suggested coordinating a site visit at the same time as the DEC inspector when the construction work starts. Mrs. Martin moved to accept the application for a permit of minor significance. Mr. Galler seconded the motion. The motion passed as follows:

Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Aye
Mr. Repetto	Aye

Board Business:

The Kreps are dredging the pond – all is good and going as planned according to the permit .

The Board members agreed that all Board members will be notified of items that need a response
Board members should send an email back acknowledging that they received the email.

Minutes:

the minutes of July 12, 2016 were tabled until the next meeting.

Mr. Galler moved to adjourn the meeting and Mr. Kingsley seconded the motion. The meeting adjourned at 10:10 P.M. by the following vote:

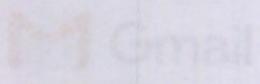
Mr. Galezo	Aye
Mr. Galler	Aye
Mr. Garfinkle	Aye
Mr. Kingsley	Aye
Mr. Lind	Aye
Mrs. Martin	Aye
Mr. Repetto	Aye

****NOTE: these minutes were prepared for the Conservation Board and are subject to review, comment, emendation and approval of thereupon.**

DATE APPROVED: _____

Respectfully submitted,

Linda Valentino
Secretary



Jessica Crofts
54 Lyons Road
Cold Spring, NY 10516
303.330.1309
jessicacrofts@gmail.com

Request for General Permit for Greenhouses

Thu, Sep 22, 2016 at 2:25 PM

September 28, 2016

Jessica Crofts <jessicacrofts@gmail.com>
To: r3200@dec.state.ny.us, dep.r3200@dec.state.ny.us
Cc: "McKean, Kelly E (DEC)" <kelly.mckean@dec.state.ny.us>

Town of Philipstown
Conservation Board
238 Main Street
Cold Spring, NY 10516

Re: NYSDEC Application and Authorization for a Freshwater Wetland Adjacent Area General Permit, GP-0-13-00, to Construct a Greenhouse at 54 Lyons Road

Dear Board Members,

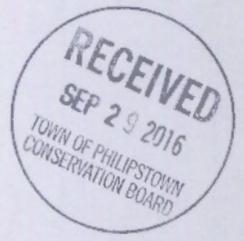
Pursuant to your instructions at the Conservation Board meeting on September 13, 2016, I have enclosed a copy of the application for a Freshwater Wetland Adjacent Area General Permit I submitted to NYSDEC. I have also enclosed a copy of the NYSDEC authorization to construct a greenhouse on my property signed by Deputy Regional Permit Administrator, John Petronella and dated September 28, 2016.

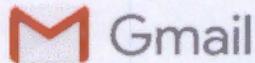
On September 21, Kelly McKean, a NYSDEC Habitat Biologist, made a site visit to my property to delineate the wetland. We discussed my project at length and measured distances from the proposed location of disturbance to the wetland delineation. Ms. McKean determined my proposed project met the criteria for a General Permit because the combined structure and raingarden is less than 1,000 basal square feet, will be constructed in a currently disturbed area free of natural vegetation, and will be located a minimum of 50 feet from the NYSDEC staff determined wetland boundary.

If you have any questions or need additional information, I'm happy to provide it. I look forward to seeing you at the next Conservation Board meeting on October 11, 2016.

Very Truly Yours,

Jessica Crofts
Enclosures





Jessica Crofts <jessicacrofts@gmail.com>

Request for General Permit for Greenhouse

1 message

Jessica Crofts <jessicacrofts@gmail.com>

Thu, Sep 22, 2016 at 2:25 PM

To: r3dep@gw.dec.state.ny.us, dep.r3@dec.ny.gov

Cc: "McKean, Kelly E (DEC)" <kelly.mckean@dec.ny.gov>, David Crofts <dbcrofts@gmail.com>

Mr. Whitehead,

I am applying for a General Permit for a greenhouse I would like to build on my property located at 54 Lyons Road, Cold Spring, (township Philipstown). Kelly McKean made a site visit to my property yesterday to delineate the wetland boundary and we discussed my project during her visit.

Per Ms. McKean's instructions, please find attached a completed, signed and dated copy of the Request for Authorization with the following items:

- a site location map;
- project plans showing all applicable details and measurements to clearly define the extent and nature of the project;
- 3 representative color photographs, with date and time taken, clearly depicting the site of the proposed activity;
- Permission to Inspect Property Form.

If you need to reach me for anything further, my phone number is [303.330.1309](tel:303.330.1309).

Thank you,

Jessica Crofts

5 attachments **StateRequestForAuthorization.pdf**
738K **StateSiteLocationMap.pdf**
1460K **StateProjectPlans.pdf**
1618K **StateRepresentativeColorPhotos.pdf**
1111K **StatePermissionToInspectProperty.pdf**
449K



New York State Department of Environmental Conservation
PART 1 - REQUEST FOR AUTHORIZATION for GP-0-13-001, Freshwater Wetland Adjacent Area General Permit
 Environmental Conservation Law Article 24 Freshwater Wetlands

5/13

1. Name of Applicant

Jessica Crofts
 Mailing Address

54 Lyons Road

Telephone 303 330 1309
 Post Office City

Cold Spring

Email Jessica.crofts@gmail.com
 State Zip

NY 10516

Applicant must be (check all that apply): Owner Operator Lessee Taxpayer ID (if applicant is NOT an individual):

2. Name of Property Owner (if different than Applicant)

Mailing Address

Telephone

Post Office City

Email

State Zip

3. Contact / Agent Name

Jessica Crofts
 Mailing Address

54 Lyons Road

Telephone 303.330-1309
 Post Office City

Cold Spring

Email Jessica.crofts@gmail.com
 State Zip

NY 10516

4. Project / Facility Name Crofts Greenhouse

Property Tax Map Section / Block / Lot Number Section 27.7, Block 1, Lot 39

Project Location - street address, if applicable, or provide directions and distances to roads, bridges and bodies of water: Philipstown

54 Lyons Road in a previously disturbed area in the back yard and more than 50' from a NYSDEC staff determined wetland boundary

Town / Village / City Cold Spring, Philipstown

Stream/Waterbody Name Barrett Pond

County Putnam County

Name of USGS Quadrangle Map Lake Carmel

Location Coordinates: Enter NYTMs in kilometers OR Latitude/Longitude in degrees, minutes, seconds

NYTM-E NYTM-N

Latitude 41° 27' 54.1528" Longitude -073° 55' 25.4820"

5. Type of Wetland Adjacent Area Project - 50' or more from the wetland boundary, and 1/4 acre or less of total disturbance:

- Demolition and removal of existing appurtenant structures
- Construction of driveways or parking areas, limited to 1,000 sq. ft.
- Additions to existing structures, limited to 1,000 sq. ft.
- Installation of garages, decks, porches, sheds, pools, utility lines and other appurtenant structures, limited to 1,000 sq. ft.
- In-kind, in-place replacement of existing appurtenant structures, roads, and associated utilities

Specific Project Description

Installation of a greenhouse
Please see attached for details.

Proposed Start Date: 11/9/2016

Estimated Completion Date:

6. Certification. I have read this permit and will construct this project in compliance with the terms and conditions of the permit and the Environmental Conservation Law and applicable regulations. I understand that any false or inaccurate statements made in the application for this permit are punishable as a Class A misdemeanor. As a condition of this permit, I accept full legal responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agree to indemnify and save harmless the state from suits, actions, damages, and costs of every name and description resulting from this project.

If applicant is not the owner, both must sign the application. If you are submitting this application electronically, you may print your name and check the box that certifies you are the responsible applicant or property owner in lieu of providing an original signature.

Signature of Applicant Jessica Crofts

By checking this box, I certify that I am the responsible Applicant.

Printed Name Jessica Crofts

Date 6/22/2016

Signature of Owner Jessica Crofts

By checking this box, I certify that I am the responsible Owner.

Printed Name Jessica Crofts

Date 6/22/2016

Signature of Agent / Contact

Printed Name

Date

Reset Form

No work is authorized until the permittee receives the signed Part 2 - PROJECT AUTHORIZATION BY NYSDEC.



**PART 2 - PROJECT AUTHORIZATION BY NYSDEC
for GP-0-13-001 Freshwater Wetland Adjacent Area General Permit**

For NYSDEC Use Only

Use of General Permit GP-0-13-001, Freshwater Wetland Adjacent Area General Permit for the project described on Part 1 - Request for Authorization is **AUTHORIZED** as follows:

Effective Date of Authorization:

Expiration Date of Authorization:

Additional Information:

NYS Freshwater Wetland WP-18, Class II
All work must be conducted in strict accordance with the plans, project narrative and other project details submitted with this request for authorization. Such plans were titled "Crofts Greenhouse, 54 Lyons Road, Cold Spring".

Use of General Permit GP-0-13-001, Freshwater Wetland Adjacent Area General Permit for the project described on Part 1 - Request for Authorization is **NOT AUTHORIZED**, you must apply for an individual permit.

Additional Information:

NYSDEC Authorization

Authorized Signature

Date

Printed Name

DEC Permit ID

Title

Address

cc

Crofts Greenhouse, 54 Lyons Road, Cold Spring

Limits of Disturbance 976 sf

The area where the greenhouse will be built is a currently disturbed area that does not have natural vegetation. It is a landscaped yard covered in mulch.

The proposed authorized activity is 54 ft. from a NYSDEC staff determined wetland boundary. (Kelly McKean, a NYSDEC habitat biologist, made a site visit on September 21, 2016 and measured and delineated the wetland boundary.)

The combined limits of disturbance of the greenhouse and the raingarden is 976 sq. ft. basal area:

- Greenhouse: 800 sq. ft.
- Raingarden: 176 sq. ft.

The proposed authorized activity includes an appropriate storm water runoff control in the form of a raingarden.

Greenhouse 800 sf

Before excavation begins, a silt fence will be installed 54 ft. from the NYSDEC staff determined wetland boundary along the north and east sides of the greenhouse to prevent silt and sediment from flowing into the wetland. There is a 2 ft. drop over 30 ft. from the southeast side of the site to the northeast side and a 6 inch drop over 30 ft. from the southwest side of the site to the northwest side. In order to prepare and level the site, we will regrade the site by moving soil from the uphill (south) side of the site to the downhill (north) side of the site.

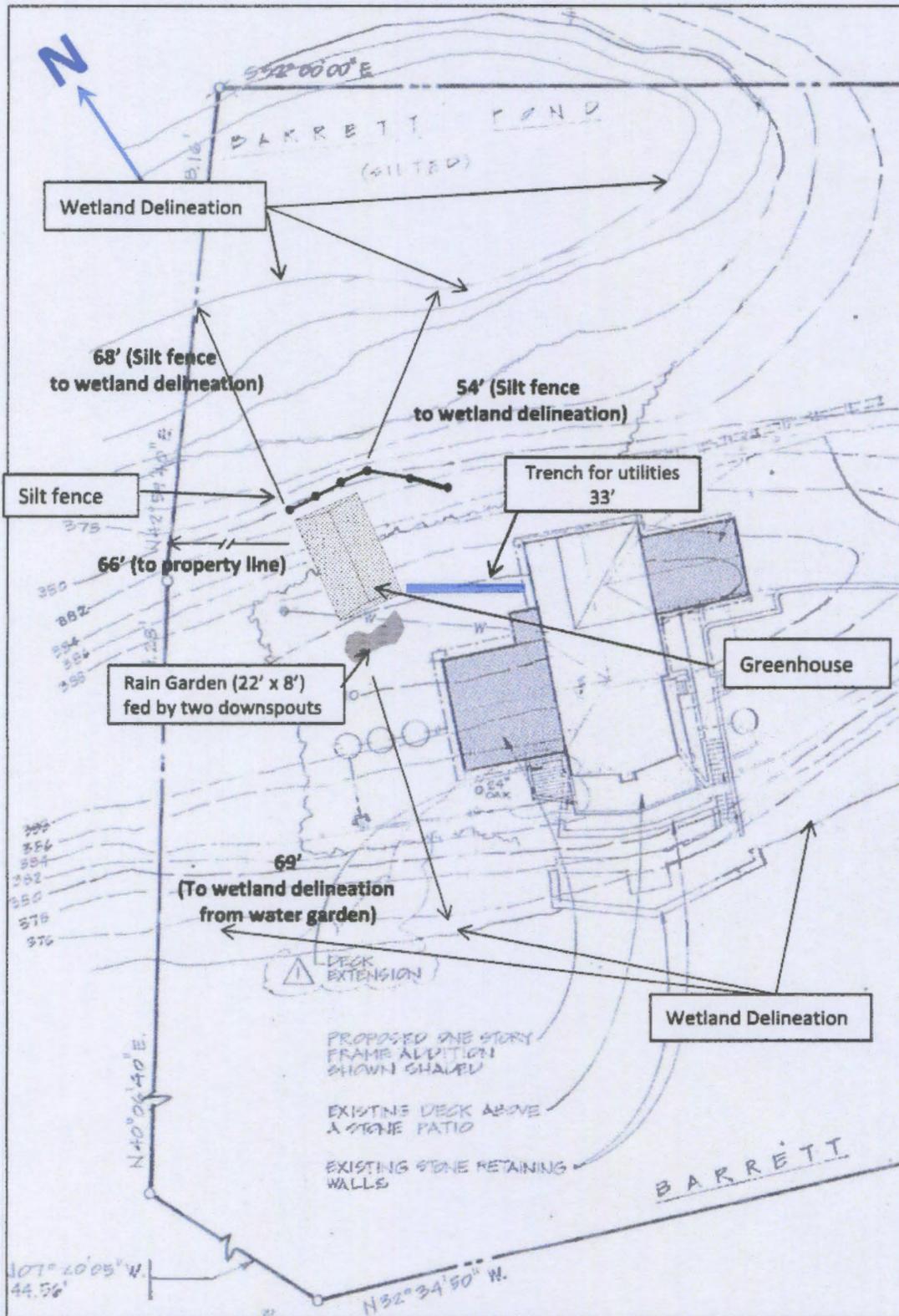
A 33 ft. long trench will run utilities from the northwest corner of the house to the southeast corner of the greenhouse. The water pipe will be installed 42 in. below grade and large waterproof conduit (Electric, Cat 6 cable, 2-wire for alarm) will be installed 24 in. below grade, parallel to the water line.

Raingarden 176 sf

A kidney shaped raingarden 22 ft. long, 8 ft. wide, and 6 in. deep will be installed on the south side of the greenhouse. A berm constructed from soil removed from the uphill side of the garden will be added to the downhill side to create a level ponding area. It will capture 600 gallons of rainfall during a rain event of approximately 1 in. of accumulation.

Gutters along the east and west sides of the greenhouse will divert storm water into down spouts mounted onto the southeast and southwest sides of the greenhouse. Shallow buried downspout extensions that daylight with the bottom of the pipe above the ponding level will direct flow into the garden. River cobble will direct overflow opposite where the water comes in so that in the event of a severe storm, excess water will flow out. The raingarden will be planted with approximately 131 native plants.

Site Location Map, Crofts Greenhouse, 54 Lyons Road, Cold Spring

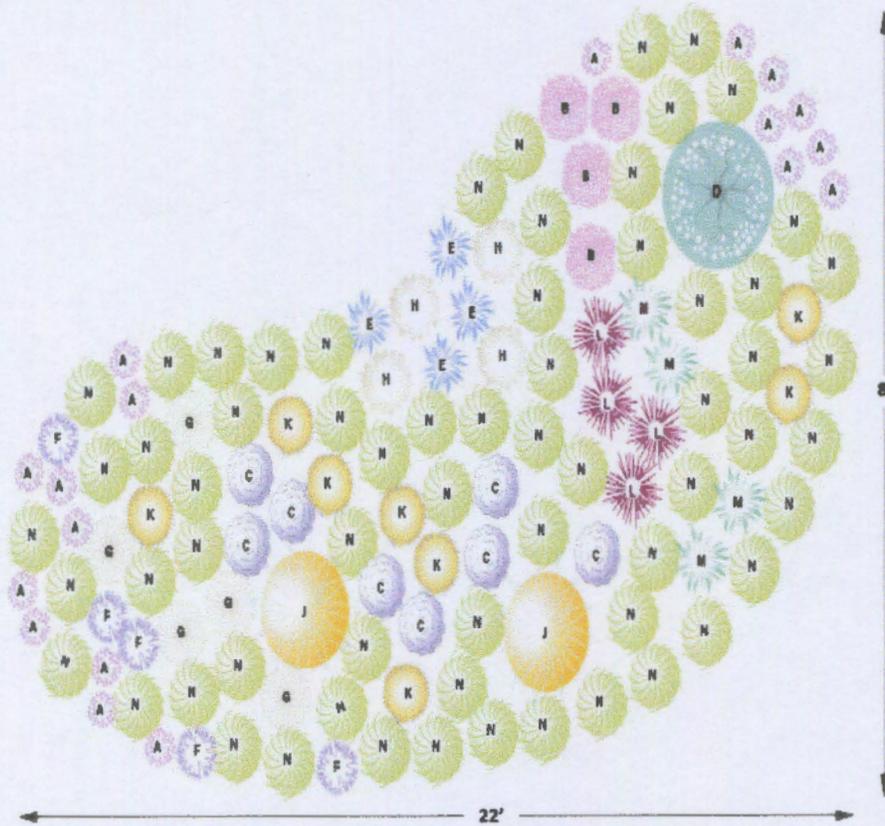


Rain garden Plan and List of Plants Crofts Greenhouse, 54 Lyons Road, Cold Spring

PLANTING PLAN

131 Plant Rain Garden for medium soils in full sun

Item #50077



A Nodding Pink Onion (8)
B Red Milkweed (4)
C New England Aster (8)
D White False Indigo (1)

E Blue Flag Iris (4)
F Prairie Bloodroot (5)
G Wild Oenothera (5)
H Smooth Penstemon (4)

J Sweet Black Eyed Susan (2)
K Ohio Goldenrod (8)
L Ironwood (4)
M Cutler's Root (4)

GRASSES
N Fox Sedge (64)

**Project Plans
Crofts Greenhouse
54 Lyons Road, Cold Spring**



Project Summary

Jessica and David Crofts currently live at 54 Lyons Road, Cold Spring, NY 10516. Jessica has an orchid collection that needs to be housed in a heated greenhouse. The home at 54 Lyons Road is located on a wetlands area and the property is almost entirely within the 100 ft. wetlands buffer zone. The greenhouse will be sited in the back yard which is currently landscaped and covered in mulch. The proposed project is in an area adjacent to the wetland, has been previously disturbed without any natural vegetation, and is at least 50 ft. from the nearest NYSDEC staff determined wetland boundary. The Crofts have selected a greenhouse structure that minimizes impact on the adjacent wetland during the construction process and in day-to-day use of the structure. This document is a proposal that covers the design elements, site selection, and construction of the planned greenhouse structure at 54 Lyons Road.

Timeline

The greenhouse structure will need to be completed and fully functioning by the beginning of November 2016 because the orchids are currently in a very old greenhouse with an unreliable heating system. The orchids need to be moved into a more stable environment before temperatures drop below 40 degrees. The following is an estimated timeline by stage from planning to completion.

Build Stage	Start	End
Planning, Design, Permitting	8/2/2016	10/21/2016
Site Preparation	11/9/2016	11/10/2016
Foundation, Flooring, Framing	11/11/2016	10/13/2016
Utilities	11/14/2016	11/14/2016
Coverings, Finishing	11/15/2016	11/20/2016

Site

The prior owners of 54 Lyons completed extensive site work in 2005 during a project to expand the home. The area is already free from trees or other natural vegetation and requires minimum grading to level the area where the greenhouse will be placed. The location is within 50' of the home, which provides easy access to utilities.

Before excavation begins, a silt fence will be installed 54 ft. from the NYSDEC staff determined wetland boundary along the north and east sides of the greenhouse to prevent silt and sediment from flowing into the wetland. (Kelly McKean, a NYSDEC habitat biologist, made a site visit on September 21, 2016 and measured and delineated the wetland boundary.) There is a 2 ft. drop over 30 ft. from the southeast side of the site to the northeast side and a 6 inch drop over 30 ft. from the southwest side of the site to the northwest side. In order to prepare and level the site, we will regrade the site by moving soil from the uphill (south) side of the site to the downhill (north) side of the site. A 33 ft. long trench will run from the northwest corner of the house to the southeast corner of the greenhouse. The water pipe will be installed 42 in. below grade and three waterproof conduits (Electric, Cat 6 cable & 2-wire for alarm, spare) will be installed 24 in. below grade, parallel to the water line.

A kidney shaped raingarden 22 ft. long, 8 ft. wide, and 6 in. deep will be installed on the south side of the greenhouse to provide appropriate storm runoff water control. A berm constructed from soil removed from the uphill side of the garden will be added to a portion of the downhill side to create a level ponding area. It will capture 600 gallons of rainfall during a rain event of approximately 1 in. of accumulation.

Gutters along the east and west sides of the greenhouse will divert storm water into down spouts mounted onto the southeast and southwest sides of the greenhouse. Shallow buried downspout extensions that daylight with the bottom of the pipe above the ponding level will direct flow into the garden. River cobble will direct overflow opposite where the water comes in so that in the event of a severe storm, excess water will flow out. The raingarden will be planted with approximately 131 carefully selected native plants.

Structure

The greenhouse comes in kit-form and is manufactured by Gothic Arch Greenhouses in Mobile, AL. The kit includes everything except lumber/materials for the foundation and gutters which will be sourced locally. The foot print is 22 ft. wide by 36 ft. long. It will be used year-round and needs water, propane, and 120V electricity. The frame is made of insect resistant heart cypress; the walls are triple wall polycarbonate sheeting. Drainage gutters will be installed along the east and west sides and rainwater will be captured and diverted into a 176 sq. ft. raingarden that will be placed adjacent to and south of the structure. Propane heating, ventilation fans, and an evaporative water-cooling system will be installed. Plants will be hand-watered with a hose. Internal drainage from irrigation will be done directly through a porous gravel floor.

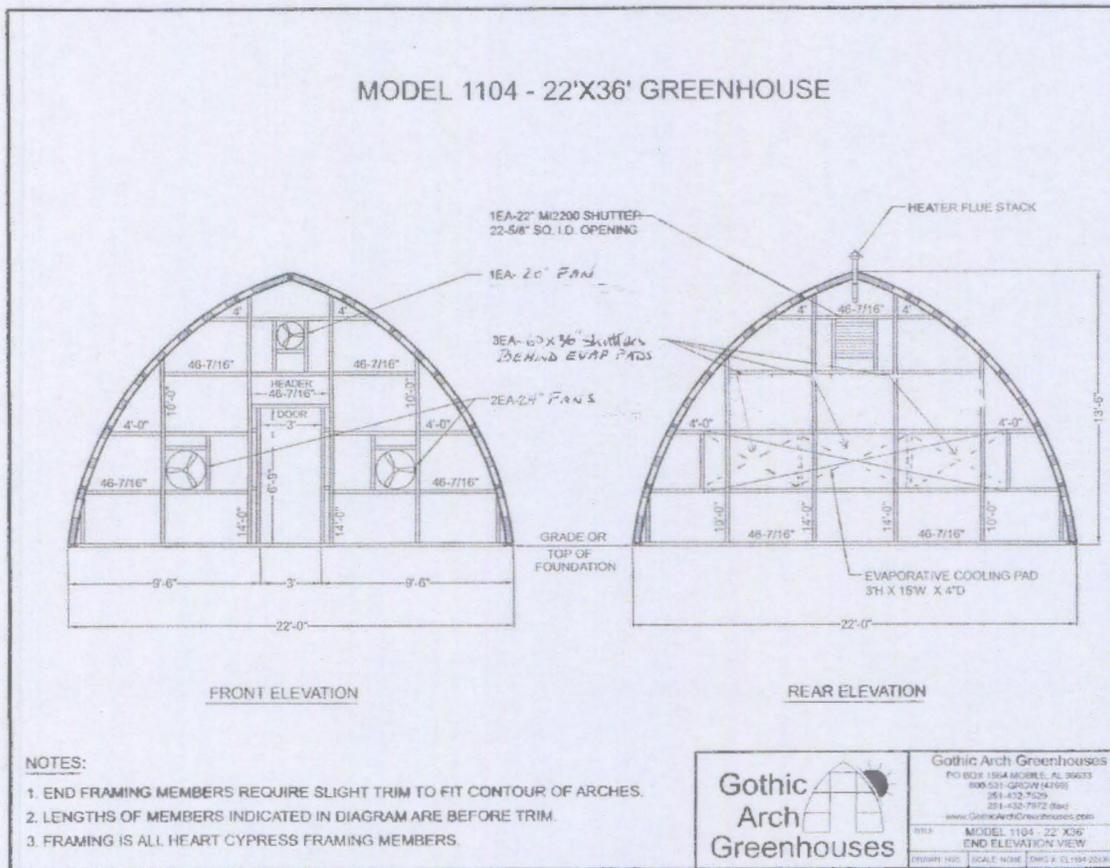
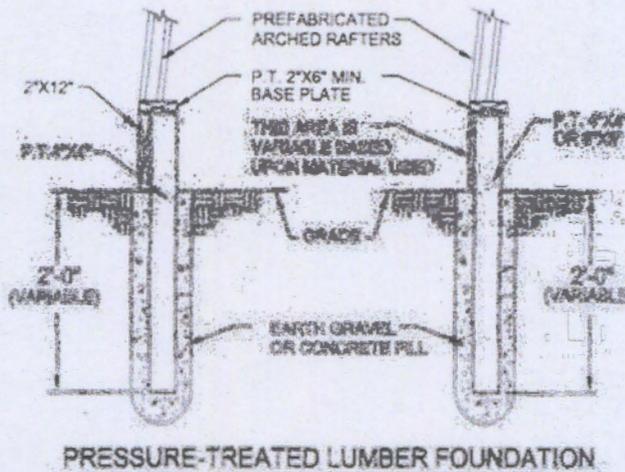


Figure 1 - End elevations for Gothic Arch Greenhouses showing detail on internal framing

Foundation

The greenhouse structure must be anchored in place by a foundation. The Gothic Arch Greenhouse was selected because, unlike metal greenhouses, the wood substructure can accommodate ground movement due to frost without permanent warping. As a result, the Gothic Arch Greenhouse can be built on top of a 30 in. tall wooden knee wall the perimeter of the structure and anchored to the ground by six 4x4 in. wooden posts set in gravel. Cement will not be used for a foundation or to anchor posts into the ground.



Foundation Detail

The post holes will extend two feet below the soil surface and anchored in place with gravel instead of cement. The posts will be pressure-treated 4x4 in. lumber. A 30 in. tall knee wall will be attached to the posts to support the greenhouse structure. The knee wall will be constructed with timber (inside and outside) with insulation inside the wall cavities.

Floor Surface

The floor surface will consist of several inches of locally sourced gravel placed on top of water permeable landscape fabric. The site preparation will include minimal grading to level the site as described above.

The inset photos below show an identical foundation to the one intended for 54 Lyons.



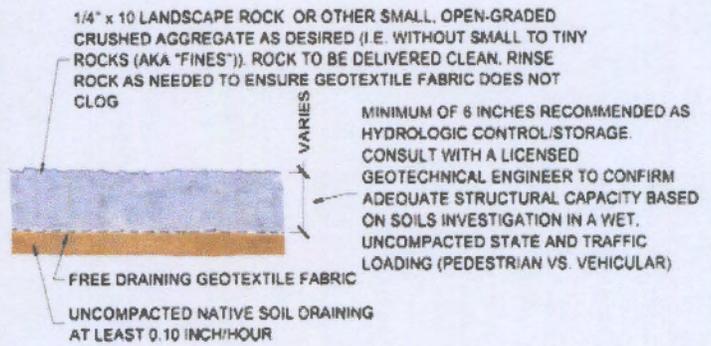
Figure 2 Photo of six foundation posts taken during construction of similar Greenhouse in Chatham, NY



Figure 2 Photo showing knee wall framing on similar greenhouse in Chatham, NY



Figure 3 Completed foundation and structural framing for Gothic Arch Greenhouse



Comparison to Criteria Specified in §93-8 of the Wetlands Law

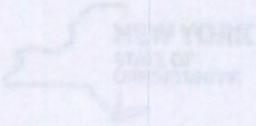
- (1) The proposed construction and operation will not have a substantial adverse effect upon the natural function and benefits of the on-site wetland. The construction will involve the disturbance of less than 1,000 sq. ft. of the regulated 100-foot adjacent area, all of which has been previously disturbed. The functions and benefits of the wetlands will not be adversely affected by the project.
- (2) The project will not substantially change the natural channel of a watercourse or inhibit the dynamics of a watercourse system, since no activity is proposed for the watercourse or wetland.
- (3) The project will not result in degrading or pollution of waters. As indicated, the proposed construction will occur in existing disturbed areas. Soil erosion control measures, specifically silt fence will be installed during construction at the proposed limits of disturbance at the north and east edge of the proposed area of activity.
- (4) The construction and operation of the greenhouse will not increase the potential for flooding, since no alteration of the existing watercourse or drainage conditions are proposed.
- (5) The applicant has proposed sufficient soil erosion and sedimentation controls for project construction. The proposed site plan drawing shows the location of silt fence between the proposed area of disturbance and the 10-ft. wetland adjacent area. Erosion control methods will be maintained throughout the period of construction and until all disturbed land is fully vegetated to prevent any silt or sediment from entering the wetland or its adjacent area.
- (6) No practicable alternative location is available on the property for the proposed activity. Alternative locations would involve the disturbance of either steep slopes or previously undisturbed upland areas. Disturbance to steep slopes would increase the potential for soil erosion and potential water quality impacts to the on-site wetland. The proposed construction location minimizes overall project impact, including to the wetland.
- (7) As described herein, the project has been designed to minimize impacts to wetlands and areas adjacent to wetlands. No additional technical improvements or safeguards can reasonably be added to the plan to further reduce impacts.
- (8) The proposed project will not alleviate or remove a hazard to public health or safety and was not proposed with that intent.

**Crofts Greenhouse, 54 Lyons Road, Cold Spring
9/22/16 1:40pm**



Crofts Greenhouse, 54 Lyons Road, Cold Spring
9/22/16 1:40pm





By signing this permission form for submission with an application for a permit(s) to the Department of Environmental Conservation ("DEC"), the signer consents to inspection by DEC staff of the project site or facility for which a permit is sought and, to the extent necessary, areas adjacent to the project site or facility. This consent allows DEC staff to enter upon and pass through such property in order to inspect the project site or facility, without prior notice, between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday. If DEC staff should wish to conduct an inspection at any other time, DEC staff will so notify the applicant and will obtain a separate consent for such an inspection.

Crofts Greenhouse, 54 Lyons Road, Cold Spring
9/22/16 1:40pm



Jessica Crofts, Landowner | *[Signature]* | 9/22/2016
Print Name and Title | Signature | Date

- The signer of this form must be an individual or authorized representative of a legal entity that owns fee title and is in possession of the property identified above
- maintains possessory interest in the property through a lease, rental agreement or other legally binding agreement, or
- is provided permission to act on behalf of an individual or legal entity possessing fee title or other possessory interest in the property for the purpose of consenting to inspection of such property.



By signing this permission form for submission with an application for a permit(s) to the Department of Environmental Conservation ("DEC"), the signer consents to inspection by DEC staff of the project site or facility for which a permit is sought and, to the extent necessary, areas adjacent to the project site or facility. This consent allows DEC staff to enter upon and pass through such property in order to inspect the project site or facility, without prior notice, between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday. If DEC staff should wish to conduct an inspection at any other times, DEC staff will so notify the applicant and will obtain a separate consent for such an inspection.

Inspections may take place as part of the application review prior to a decision to grant or deny the permit(s) sought. By signing this consent form, the signer agrees that this consent remains in effect as long as the application is pending, and is effective regardless of whether the signer, applicant or an agent is present at the time of the inspection. In the event that the project site or facility is posted with any form of "posted" or "keep out" notices, or fenced in with an unlocked gate, this permission authorizes DEC staff to disregard such notices or unlocked gates at the time of inspection.

The signer further agrees that during an inspection, DEC staff may, among other things, take measurements, may analyze physical characteristics of the site including, but not limited to, soils and vegetation (taking samples for analysis), and may make drawings and take photographs.

Failure to grant consent for an inspection is grounds for, and may result in, denial of the permit(s) sought by the application.

Permission is granted for inspection of property located at the following address(es):

54 Lyons Road
Cold Spring, NY 10516

By signing this form, I affirm under penalty of perjury that I am authorized to give consent to entry by DEC staff as described above. I understand that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.*

Jessica Crofts, Landowner
Print Name and Title

[Handwritten Signature]
Signature

6/21/2016
Date

- *The signer of this form must be an individual or authorized representative of a legal entity that:
- owns fee title and is in possession of the property identified above;
- maintains possessory interest in the property through a lease, rental agreement or other legally binding agreement; or
- is provided permission to act on behalf of an individual or legal entity possessing fee title or other possessory interest in the property for the purpose of consenting to inspection of such property.

TOWN OF PHILIPSTOWN PLANNING BOARD
238 MAIN ST.
PO BOX 155
COLD SPRING, NY 10516

DATE: 9/15/16

Ron will do.

TO: Philipstown Conservation Board
FROM: Linda Valentino, Planning Board Clerk
RE: Application of Della Valle

- FOR APPROVAL OF A
- Site Plan
 - 5 Lot Subdivision
 - Other

This proposal involves the issuance of a freshwater wetlands permit and is hereby referred to you as required by Chapter 93 (Freshwater Wetlands and Watercourses). Section 93-9F of the Philipstown code.

This proposal involves activities on Class II and/or Class III Steep Slopes and is hereby referred to you as required by Chapter 147 (Steep Terrain), Section 147E of the Philipstown Town Code.

Your timely attention, report and recommendations concerning this matter will be greatly appreciated.

Thank you,

Linda Valentino
Planning Board Clerk.



Town of Philipstown Planning Board

238 Main Street
P.O. Box 155
Cold Spring, New York 10516

September 16, 2016

Mark Galezo, Chairman
Town of Philipstown Conservation Board
PO Box 155
Philipstown, NY 10516

RE: Della Valle Site Plan
Vineyard Road (a/k/a "Horton Hill Road")

Dear Mr. Galezo:

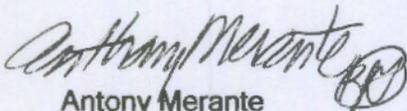
The above referenced Site Plan application has recently been filed with the Board. Given the site's location within the Town's Ridgeline/Hillside Protection Area", the Planning Board seeks comments from your Board on any potential environmental concerns you may wish to offer on the application.

The property lies at the end of Vineyard Road (a/k/a "Round Hill Road"), a private road off NYS Route 9. The tract comprises 6.691 acres, and is currently vacant. A 5-bedroom single story residential structure with garage, pool and pool area, and on-site well and sanitary disposal system are proposed to be constructed on the lot. Various areas around the structure will be re-graded, and improved with patios and gardens. To create these areas, retaining walls are also proposed to address the sloping nature of grade in the vicinity of the structure.

The structure will be built into the sloping land, so that there will be a "walk-out" basement facing the view to the south. The building is proposed to have a low profile, to minimize visual impacts. The second floor is 3,200± sf, while the overall square footage proposed is approx. 6,000 sf, including the garage/basement area). Our Board will seek to minimize such potential impacts as the development's layout and design evolves through our review process.

It would therefore be helpful to our Board if you would provide any technical comments on the project, and/or identify other issues which you believe may warrant evaluation during our review process, within the next thirty (30) days.

Very truly yours,



Antony Merante
Chairman

AM:
Enclosures

cc: Linda Valentino, Planning Board Secretary
Ronald J. Gainer, PE, PLLC

RECEIVED
SEP 16 2016
BY:

Town of Philipstown

238 Main Street

Cold Spring New York 10516

PLANNING BOARD

SITE PLAN APPLICATION PACKAGE

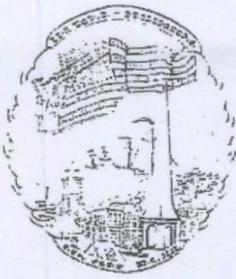
MAJOR PROJECT

Project Name: Site Plan prepared for Jared Della Valle

Date: Sept. 1, 2016

RECEIVED
SEP 1 6 2016

BY: *[Signature]*.....1.....



Town of Philipstown

Planning Board
238 Main Street, PO Box 155
Cold Spring, NY 10516

Office (845) 265- Fax (845) 265-2687

Application for Planning Board Special Use & Site Plan Approval

Date: Sept.1, 2016

TM# 39.-2-21.2

Project Name: Site Plan prepared for Jared Della Valle

Street Address: 117 Round Hill Road Garrison, NY 10524

Fee Amount: _____ Received: _____

Bond Amount: _____ Received: _____

Applicant:

Name Jared & Carolina Della Valle

Address 20 Jay Street, Suite 1003
Brooklyn, NY 11201

Telephone 718-222-8125

Design Professional:

Name Alloy Development - Jenny Kim, RA

Address 20 Jay Street Suite 1003
Brooklyn, NY 11201

Telephone 718-222-8125

Tenant:

Name -

Address -
-

Telephone -

Surveyor:

Name Glennon J. Watson, L.S.

Address Badey & Watson Surveying & Engineering, P.C.
3063 Route 9 Cold Spring, NY 10516

Telephone 845-265-9217 x14

Property Owner (if more than two, supply separate page):

Name Jared & Carolina Della Valle

Address 20 Jay Street Suite 1003
Brooklyn, NY 11201

Telephone 718-222-8125

Name _____

Address _____

Telephone _____

Project Name: Site Plan prepared for Jared Della Valle

Project Description: Proposed single story residential structure with garage, pool and pool area.

ZONING INFORMATION

175-7 Zoning District: RC (Residential Conservation)

175-10 Proposed Use: Single family residential home

Proposed Accessory Use(s): N/A

175-7 Overlay Districts on the property:

	<u>Yes or No</u>
175-13 Floodplain Overlay District – NFIP Map ----- (FPO)	<u>No</u>
175-18.1 Mobile Home Overlay District ----- (MHO)	<u>No</u>
175-14 Cold Spring Reservoir Water Shed Overlay ----- (WSO)	<u>No</u>
175-15 Scenic Protection Overlay ----- (SPO)	<u>No</u>
175-16 Aquifer Overlay District ----- (AQO)	<u>Yes</u>
175-18 Open Space Conservation Overlay District ----- (OSO)	<u>No</u>
175-35 Within 100 foot buffer of Wetlands or Watercourse -----	<u>No</u>
175-36 Steep Terrain -----	<u>Yes</u>
175-36 Ridge Line Protection -----	<u>Yes</u>
175-37 Protection Agricultural -----	<u>No</u>

Project Name: Site Plan prepared for Jared Della Valle

175-11 Density and Dimensional Regulations

Zoning District <u>RC</u>	Required	Existing	Proposed	Complies	Variance
Minimum front yard setback					
Measured from the travel way Town Road	60	N/A	319.6	Yes	
Measured from the travel way County/State	N/A	N/A	N/A	N/A	
Minimum side yard setback	30	N/A	73.4	Yes	
Minimum side yard setback (2)	30	N/A	125	Yes	
Minimum side yard setback (3)	30	N/A	108	Yes	
Minimum rear yard setback	50	N/A	182.8	Yes	
Maximum impervious surface coverage	10%	N/A	6%	Yes	
Maximum height	30*	N/A	< 20'	Yes	
Maximum footprint non-residential structures	N/A	N/A	N/A	N/A	

* 30' due to location in Ridgeline Protection Area

SUBMISSION:

13 copies with one electronic file in .pdf format of the following:

1. Pre-Application meeting decision and comments
2. Application
3. Proof of Ownership
4. Site Plan
5. A long-form Environmental Assessment Form or Draft Environmental Impact Statement.
6. An agricultural data statement as defined in §175-74, if required by §175-37C.
7. The Site Plan application fee, as established by the Town Board and any required escrow deposit for review costs, as required by the Planning Board.
8. FEE: _____ Received: _____
9. Escrow: _____ Received: _____

ARTICLE IX SPECIAL PERMITS AND SITE PLAN REVIEW

§175-60 PURPOSE AND APPLICABILITY

A. It is the policy of the Town of Philipstown to allow a variety of uses of land, provided that such uses do not adversely affect neighboring properties, the natural environment, or the rural and historic character of the Town. Many uses are therefore permitted only upon issuance of a Special Permit by the Planning Board, in order to ensure that these uses are appropriate to their surroundings and consistent with the purposes of this Chapter. Some uses are allowed by right, subject only to Site Plan approval (see Use Table in §175-10). Communication towers, soil mines, and certain solar and wind energy facilities (see §175-30E(2)) require a Special Permit issued by the Zoning Board of Appeals. Adult entertainment uses and uses not listed on the Use Table (if not prohibited by §175-10C) require a Special Permit issued by the Town Board. In reviewing Special Permit applications, the Town Board and Zoning Board of Appeals shall follow the procedures and standards established for the Planning Board in this Article IX.

B. Accessory uses or structures used in connection with a Special Permit or Site Plan use shall be subject to the same approval requirements as the principal structure or use. Accessory structures used in connection with an institutional use in the IC district are governed by the provisions in §175-10J.

C. Minor and Major Projects

In order to tailor the scope of a project review to the scale of a project, applications are divided into two categories, major and minor. In recognition of their lesser impact, minor projects involve simpler application materials, a more streamlined review process, and less detailed findings requirements, while major projects undergo a more detailed and rigorous review procedure because of their greater impact. The classification of major and minor only applies to projects that require site plan or special permit review. This classification system does not apply to development allowed by right without review by the Planning Board, Zoning Board of Appeals, or Town Board.

1. A Minor Project is a Special Permit or Site Plan application for a project that does not exceed any of the following thresholds (over a five-year period):

- a. Construction of four multi-family dwelling units or a lodging facility with six bedrooms.
- b. Construction of facilities or structures for a non-residential use covering 3,000 square feet of building footprint.
- c. Alteration of existing structures or expansion of such structures by 1,000 square feet.
- d. Conversion of existing structures totaling 5,000 square feet to another use.
- e. Alteration and active use of 10,000 square feet of land, with or without structures.
- f. Construction of a structure that is 50 feet in height above average grade level (provided that it otherwise complies with this Chapter or is the subject of an area variance).

2. A Major Project is a Special Permit or Site Plan application exceeding any of the Minor Project thresholds.

D. In reviewing any project subject to special permit or site plan approval, the reviewing board should consider —Putnam County Pathways: A Greenway Planning Program Linking Putnam's Open Space, Historic, Cultural and Economic Resources,|| as amended from time to time, as a statement of land use policies, principles and guides.

§175-66 **PROCEDURE** FOR MAJOR PROJECT SITE PLAN APPROVAL

A. Applicability

This §175-66 applies to Major Project Site Plan approval applications where no Special Permit is required. See §175-67 for Minor Project Site Plan applications.

B. Pre-application Meetings

Before filing an application, a preliminary conference with the Zoning Administrative Officer and one Planning Board member designated by the Planning Board Chair is required to discuss the nature of the proposed use and to classify it as a Major or Minor Project. If the Zoning Administrative Officer classifies the project as a Major Project, a preliminary conference with the Planning Board is required to discuss the nature of the proposed use and to determine the information that will need to be submitted in the Site Plan.

C. Submission

All Major Project Site Plans shall be submitted, with multiple **13 copies** with **one electronic file in .pdf format** as required by the Planning Board, to the Zoning Administrative Officer, who shall distribute them to the Planning Board and such other municipal boards, officials, and consultants as the Planning Board deems appropriate. The Planning Board's consultant or a designated Town employee shall make the initial determination as to whether or not the application is complete for the purpose of accepting it for review. In addition to the Site Plan drawings, the applicant shall submit:

1. A long-form Environmental Assessment Form or Draft Environmental Impact Statement.
2. An agricultural data statement as defined in §175-74, if required by §175-37C.
3. The Site Plan application fee, as established by the Town Board, and any required escrow deposit for review costs, as required by the Planning Board.

D. Application for Area Variance

Where a proposed Site Plan contains one or more features which do not comply with the dimensional regulations of this Chapter, application may be made to the Zoning Board of Appeals for an area variance pursuant to §175-59F without a decision or determination by the Zoning Administrative Officer.

E. SEQRA Compliance

Upon receipt of application materials it deems complete, the Planning Board shall initiate the New York State Environmental Quality Review process by either circulating the application and Environmental Assessment Form to all involved agencies (if coordinated review is undertaken) or by issuing its determination of significance within 20 days. Where the proposed action may have a significant effect on the environment, the Planning Board shall issue a positive declaration and require the submission of a Draft Environmental Impact Statement (DEIS). No time periods for decision making in this Chapter shall begin to run until either acceptance of a DEIS as satisfactory pursuant to New York State Department of Environmental Conservation Regulations or the issuance of a negative declaration.

F. Public Hearing and Decision

1. The Planning Board shall hold a public hearing on the Site Plan and shall follow the provisions on notice, agricultural data statements, county review, Conservation Board review, and time limits for Special Permits in §§175-62E through G.
2. Criteria for decisions on Site Plans shall be limited to those listed in §175-65D. In granting Site Plan approval, the Planning Board may impose any conditions which it considers necessary to fulfill the purposes of this Chapter. These conditions may include increasing dimensional or area requirements, requiring the set-aside of perpetual open space land pursuant to §175-20, specifying location, character, and number of vehicle access points, requiring landscaping and/or screening, requiring clustering of

structures and uses in order to preserve environmental resources and minimize the burden on public services and facilities, and/or requiring performance guarantees to insure the completion of the project in accordance with the conditions imposed.

3. A copy of the decision shall be immediately filed in the Town Clerk's office and mailed to the applicant. resolution of either approval or approval with modifications and/or conditions shall include authorization to the Planning Board Chairman to stamp and sign the Site Plan upon the applicant's compliance with applicable conditions and the submission requirements stated herein.

4. If the Planning Board's resolution includes a requirement that modifications be incorporated in the Site Plan, conformance with these modifications shall be considered a condition of approval. If the Site Plan is disapproved, the Planning Board may recommend further study of the Site Plan and resubmission to the Planning Board after it has been revised or redesigned.

§175-65 SITE PLAN REVIEW AND APPROVAL

A. Applicability

1. Site Plan approval by the Planning Board shall be required for all permitted uses listed on the Use Table as requiring Site Plan approval only. Site Plan review shall be included as an integral part of the Special Permit approval process and no separate Site Plan approval shall be required for uses requiring a Special Permit.
2. The procedures for review of Site Plans for Major and Minor Projects (as defined in Article XII) are described in §§175-66 and 175-67. Agricultural structures with a footprint of over 15,000 square feet shall require Minor Project site plan approval. Agricultural structures with a footprint of 10,000 square feet or less are exempt from site plan approval requirements.
3. Site Plan approval shall also be required for any development which is the functional equivalent of a land subdivision but which is structured for ownership purposes as a condominium project. In such cases, the Planning Board shall apply all relevant review criteria contained in the Land Development Law (Chapter 112 of the Town Code) as well as the provisions of this Chapter.

B. Required Information for Site Plan

An application for Site Plan approval shall be accompanied by plans and descriptive information sufficient to clearly portray the intentions of the applicant. Minor Project Site Plans shall contain the information required by §175-67C and other information listed below if the Planning Board deems such information necessary to conduct an informed review. Major Project Site Plans shall be prepared by a licensed professional engineer, architect, surveyor, or landscape architect, and shall include the following (unless waived):

SITE PLAN CHECK LIST

1. A location map drawn at the scale of 2,000 feet to the inch or larger (or other convenient scale acceptable to the Planning Board) that shows the relationship of the proposal to existing community facilities which affect or serve it, such as roads, shopping areas, schools, etc. A vicinity map shall also be submitted that shows all properties, subdivisions, streets, and easements within 500 feet of the property. Such maps may be superimposed on a United States Geological Survey or New York State Department of Transportation map of the area.
2. An existing conditions map, showing existing buildings, roads, utilities, and other man-made features, as well as topography and all existing natural land features that may influence the design of the proposed use such as rock outcrops, single trees eight or more inches in diameter located within any area where clearing will occur, forest cover, soils (including prime and statewide important agricultural soils), and ponds, lakes, wetlands and watercourses, aquifers, floodplains, and drainage retention areas.
3. A Site Plan, drawn at a scale and on a sheet size appropriate to the project. The information listed below shall be shown on the Site Plan and continuation sheets.
4. Name of the project, boundaries, date, north arrow, and scale of the plan. Name and address of the owner of record, developer, and seal of the engineer, architect, surveyor, and/or landscape architect. If the applicant is not the record owner, a letter of authorization shall be required from the owner.
5. The location and use of all existing and proposed structures within the property, including all dimensions of height and floor area, all exterior entrances, and all anticipated future additions and alterations.

6. The location of all present and proposed public and private ways, off-street parking areas, driveways, outdoor storage areas, sidewalks, ramps, curbs, paths, landscaping, walls, and fences. Location, type, and screening details for all waste disposal containers shall also be shown.

7. The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.

8. The location, height, size, materials, and design of all proposed signs in compliance with §175-39. In lieu of specific sign proposals in connection with the site plan submission, the applicant may submit and the Planning Board may approve a general sign plan and program for the premises, specifying intended locations, sizes, areas, message, design, and illumination.

9. The location of all present and proposed utility systems including:

- a. Sewage or septic system;
- b. Water supply system;
- c. Telephone, cable, and electrical systems; and
- d. Storm drainage system including existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.

10. Erosion and sedimentation control plan required by §175-32 to prevent the pollution of surface or groundwater, erosion of soil both during and after construction, excessive run-off, excessive raising or lowering of the water table, and flooding of other properties, as applicable.

11. Existing and proposed topography at two-foot contour intervals, or such other contour interval as the Board shall specify. All elevations shall refer to the nearest United States Coastal and Geodetic Bench Mark. If any portion of the parcel is within the 100-year floodplain, the area will be shown, and base flood elevations given. Areas shall be indicated within the proposed site and within 50 feet of the proposed site where soil removal or filling is required, showing the approximate volume in cubic yards.

12. A landscape, planting, and grading plan showing proposed changes to existing features.

13. Land Use District boundaries within 200 feet of the site's perimeter shall be drawn and identified on the Site Plan, as well as any Overlay Districts that apply to the property.

14. Traffic flow patterns within the site, entrances and exits, and loading and unloading areas, as well as curb cuts on the site and within 100 feet of the site. The Planning Board may, at its discretion, require a detailed traffic study for large developments or for those in heavy traffic areas to satisfy the requirements of §175-40N.

15. For new construction or alterations to any structure, a table containing the following information shall be included:

- a. Estimated area of structure currently used and intended to be used for particular uses such as retail operation, office, storage, etc.;
- b. Estimated maximum number of current and future employees;
- c. Maximum seating capacity, where applicable; and
- d. Number of parking spaces existing and required for the intended use.

16. Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color of materials to be used.

17. Where appropriate, the Planning Board may request soil logs, percolation test results, and storm run-off calculations.

_____ 18. Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.

 X 19. Part One of a long-form Environmental Assessment Form or Draft Environmental Impact Statement.

_____ 20. Where appropriate, a cultural resource survey of resources with historic or archaeological significance.

 X 21. A letter from the Zoning Administrative Officer stating either that there are no outstanding zoning violations on the property or that the requested site plan approval is needed in order to correct a violation.

_____ 22. Other information that may be deemed necessary by the Planning Board.

- a) _____

- b) _____

- c) _____

c. Waivers

The Planning Board may waive or allow deferred submission of any of the information required in Subsection B above, as it deems appropriate to the application. Such waivers shall be discussed in the course of pre-application conferences. The Planning Board shall issue a written statement of waivers for all major projects. This statement shall be filed in the permanent record of the property.

- a) **None** _____

- b) _____

- c) _____

- d) _____

- e) _____

D. Criteria

In reviewing Site Plans, the Planning Board shall ensure that the application complies with all applicable provisions of this Chapter, including the environmental performance standards in §175-40. The Planning Board shall also consider apply the criteria set forth below. The Planning Board may also refer for non-binding guidance to the three-volume set of illustrated design guidelines published by the New York Planning Federation in 1994, entitled *Hamlet Design Guidelines, Building Form Guidelines, and Rural Design Guidelines*. The Planning Board may also refer to the —Design Handbook|| adopted by the Philipstown Planning Board as advisory guidelines for the Route 9 Corridor as well as any other design guidelines that it adopts from time to time as non-binding advisory material. In applying the criteria contained in this subsection and the reference documents above, the Planning Board shall take into consideration the location, character, and context of proposed development and adapt these criteria to the setting (e.g. rural, hamlet, institutional, suburban, industrial) as appropriate.

1. Layout and Design

a. To the maximum extent practicable, development shall be located to preserve the natural features of the site and to avoid wetland areas, steep slopes, significant wildlife habitats, and other areas of environmental sensitivity. The placement and design of buildings and parking facilities shall take advantage of the site's topography, existing vegetation, and other pertinent natural features. The Planning Board may require that an applicant prepare a conservation analysis as described in §175-20A of this Chapter.

b. All structures in the plan shall be integrated with each other and with adjacent structures and shall have convenient access between adjacent uses. Structures shall, where practical, be laid out in the pattern of a traditional hamlet.

c. Except for retail and service businesses that require visibility, the visual impact of structures from public roads shall be minimized through the use of vegetative screening, topography, and colors that blend with the natural surroundings. Structures that are visible from public roads shall be compatible with each other and with traditional structures in the surrounding area in architecture, design, massing, materials, proportion, texture, color, and placement. Building components such as windows, roof lines and pitch, doors, eaves, and parapets shall be compatible with historic structures in the Town. Vertical, double-bung windows and steeply pitched roofs are encouraged but will not be required. Rooftop and ground level mechanical equipment shall be screened from public view using materials harmonious with the building, or shall be located where they are not visible from any public ways or other adjacent properties.

d. Where appropriate, setbacks shall maintain and continue the existing setback pattern of surrounding properties.

e. The Planning Board shall encourage the creation of landscaped parks or squares easily accessible by pedestrians.

f. Trademarked architecture which identifies a specific company by building design features shall be prohibited, unless the applicant can demonstrate that the design is compatible with the historic architecture of the Town or the Building Form Guidelines.

g. Impacts on historic and cultural resources shall be minimized.

h. Newly installed utility service systems and service modifications necessitated by exterior alterations shall be installed underground. When feasible, existing aboveground utility service systems shall be placed underground.

i. Buildings shall have a finished exterior on all sides.

_____ j. Metal buildings that are principal buildings (larger than a small storage building in an unobtrusive location) shall be of color consistent with earth tones; shall have sufficient fenestration and trim to break continuums of metal wall areas; and shall have brick, stone, wood trim or composite materials providing a similar appearance, and features combined with the basic metal enclosure. A complete package of elevations shall accompany any proposal for a metal building.

2. Landscaping and screening. Landscaping shall be provided and permanently maintained as follows:

a. All areas of the lot not covered by buildings and other structures, outside storage and approved paving shall be suitably landscaped with trees and/or shrubs, lawns or other suitable landscaping or shall be left as natural terrain, if not disturbed by filling, grading or excavation.

_____ b. In the HC and OC districts, a strip of land not less than 20 feet in width and located in the area required for a building setback from a residence district boundary line, or all of such setback area on the lot if less than 20 feet in width, shall be left and maintained in its natural state if already wooded or shall be landscaped with evergreen trees planted to grow into a dense evergreen buffer strip within five years.

_____ c. In the M district, a strip of land not less than 30 feet in width and located in the area required for a building setback from a residence district boundary line, or all of such setback area on the lot if less than 30 feet in width, shall be left and maintained in its natural state if already wooded or shall be landscaped with evergreen trees planted to grow into a dense evergreen buffer strip within five years.

_____ d. Off-street parking and loading areas shall be provided with landscaped planting islands within or border landscaping adjacent to such area in such a manner as to enhance the appearance of the area. Any parking area accommodating 20 or more cars shall be provided with not less than one tree for each 20 cars or fraction thereof, which trees shall be not less than three inches diameter at breast height and 10 feet in height.

e. Landscaping, including grading, provided in the area required for a building setback from the street line or center line of U.S. Route 9 shall be of a type, size and height as to avoid obstruction of minimum sight lines along the highway as well as from access driveways onto the highway, whether located on the lot or any other lot, as specified by the State Department of Transportation.

f. All landscaping materials shall be of a type and/or species suitable for the location of the lot in the Town and suitable for the soil conditions on the lot and shall be planted and maintained in accordance with good landscaping practice. Landscaping shall be designed to facilitate conservation of the environment and preservation of community aesthetic character. This shall be accomplished through the use of native plant material and the retention of existing natural vegetation, thereby reducing or eliminating the need for irrigation, pesticides, herbicides, and fertilizers.

g. All landscaping, including growing materials, that are specified on an approved landscape plan for a site shall be well maintained to carry out the intent of the landscape plan. Failure to maintain healthy landscaping associated with a site plan approval will be a violation of said approval.

h. Trees, shrubs and other plant materials which die or are otherwise not in a condition to fulfill the approved landscape plan shall be replaced in the next planting season by similar plant material.

i. Fences and walls used for landscaping and screening shall be made of natural materials such as wood, stone or brick or otherwise effectively landscaped.

j. Landscaping shall be an integral part of the entire project area and shall buffer the site from and/or integrate the site with the surrounding area, as appropriate.

_____ k. Existing native tree stock eight or more inches in diameter at breast height shall be protected and preserved to the extent possible to retain valuable community natural resources and promote energy conservation by maximizing the cooling and shading effects of trees. The preservation of mature plant species, hedge rows, wetlands, and woodlots shall be encouraged and included as a design element in the development of the site.

_____ l. If deemed appropriate for the site by the Planning Board, shade trees at least six feet tall and two-inch caliper shall be planted and maintained at 20- to 40-foot intervals along roads at a setback distance acceptable to the Highway Superintendent.

3. Parking, Circulation, and Loading

a. Roads, driveways, sidewalks, off-street parking, and loading space shall be safe, and shall encourage pedestrian movement.

_____ b. Vehicular and pedestrian connections between adjacent sites shall be provided to encourage pedestrian use and to minimize traffic entering existing roads. The construction of connected parking lots, service roads, alleys, footpaths, bike paths, and new public streets to connect adjoining properties shall be required where appropriate.

_____ c. Off-street parking and loading standards in §175-38 shall be satisfied.

_____ d. Access from and egress to public highways shall be approved by the appropriate highway department, including Town, County, and State.

e. All buildings shall be accessible by emergency vehicles.

_____ f. Parking spaces shall have wheel stops or curbs to prevent injury to trees and shrubs planted in landscaped islands.

_____ g. Bicycle parking spaces and racks shall be provided in an area that does not conflict with vehicular traffic. Designated van/car pool parking, and other facilities for alternatives to single occupancy vehicle use shall be provided wherever possible.

_____ h. In developments where links to schools, churches, shopping areas, trails, greenbelts, and other public facilities are feasible, or where a trail connection is recommended in the Comprehensive Plan or in a Town Open Space Plan, a trail corridor shall be reserved on the approved Site Plan for this purpose.

4. Reservation of Parkland

For any Site Plan containing residential units, the Planning Board may require the reservation of parkland or payment of a recreation fee pursuant to Town Law, §274-a(6).

5. Outside Storage

Any areas for outside storage (including temporary storage of waste materials; storage and display of merchandise, supplies, machinery and other materials; and outside manufacture, processing or assembling of goods; but excluding areas for parking of registered motor vehicles in daily use) shall be shown on the site plan and located and screened as follows:

_____ a. In the HC and OC districts, outside storage areas shall not extend into the area required for a building setback from a street line or from the center line of U.S. Route 9, as determined under § 175-30(J), or from a residential district boundary line. Outside storage shall be enclosed (except for necessary access drives) by buildings and/or fences, walls, embankments or evergreen shrubs or trees so as to screen the storage area from view from any other adjacent lot or any street. In no case shall the height of outside

storage exceed the height of the approved screening. Screening shall be of a density as to be at least 75% effective in screening such view, at the time of occupancy, except that when evergreens are used, such height and density shall be achieved within five years after establishment of the outside storage area.

_____ b. Outside storage on properties in the HC or OC districts shall not exceed 20% of the lot area located in such district.

_____ c. In the M District, outside storage areas shall not extend into the area required for a building setback from a property line, or a residence district boundary line, and shall not exceed 15% of the lot area located in the industrial M District.

6. Miscellaneous Standards

_____ a. Buildings and other facilities shall be designed, located, and operated to avoid causing excessive noise on a frequent or continuous basis.

_____ b. Drainage of the site shall recharge ground water to the extent practicable. The peak rate of surface water flowing off-site shall not increase above pre-development conditions and shall not adversely affect drainage on adjacent properties or public roads.

_____ c. Applicable requirements for proper disposal of construction and demolition waste shall be satisfied, and any necessary permits or agreements for off-site disposal shall be obtained.

_____ d. No materials shall be placed below the finished grade of a site other than utilities, sand, gravel, rocks, and soil that are uncontaminated by any solid waste or hazardous materials. Materials that were previously contaminated and have been reconditioned shall not be permitted under this Subsection (e), except that decontaminated material may be used as a base for road or parking lot construction, provided that such decontaminated material does not pollute groundwater or surface water.

_____ e. Structures shall be located, constructed, and insulated to prevent on-site noise from interfering with the use of adjacent properties. Similarly, buildings shall be situated to prevent off-site noise from intruding on new development. Methods for blocking noise shall be used where appropriate, and shall include fencing, walls, and natural buffers, such as berms and landscape planting with trees and large shrubs.

 x f. Lighting shall comply with the standards in §175-40L.

§175-68 IMPLEMENTATION, REVISION, AND ENFORCEMENT OF APPROVED SITE PLANS

A. Within 6 months after receiving approval of a Site Plan, with or without modifications, the applicant shall submit multiple copies of the Site Plan, as determined by the Planning Board, for stamping and signing. The Site Plan submitted for stamping shall conform strictly to the Site Plan approved by the Planning Board, except that it shall further incorporate any required revisions or other modifications and shall be accompanied by the following additional information:

1. Record of application for and approval status of all necessary permits from Federal, State, and County officials.
2. Detailed sizing and final material specification of all required improvements.
3. An estimated project construction schedule. If a performance guarantee pursuant to Subsection B is to be provided by the applicant for all or some portion of the work, a detailed site improvements cost estimate shall be included.
4. Proof of payment of the Planning Board's reasonable review costs.

5. Upon stamping and signing the Site Plan, the Planning Board shall forward copies of the approved Site Plan to the Zoning Administrative Officer and the applicant. The Zoning Administrative Officer may then issue a Building Permit. A Certificate of Occupancy may only be issued if the project conforms to all applicable requirements of the Site Plan Approval.

B. Performance Guarantee

No Certificate of Occupancy shall be issued until all improvements shown on the Site Plan are installed, or a sufficient performance guarantee has been posted for improvements not yet completed. The performance guarantee shall be posted in accordance with the procedures specified in §277 of the Town Law relating to subdivisions. The amount and sufficiency of such performance guarantee shall be determined by the Town Board after consultation with the Planning Board, Town Attorney, Zoning Administrative Officer, other local officials, and its consultants.

C. As-Built Plans and Inspection of Improvements

No Certificate of Occupancy shall be granted until the applicant has filed a set of as-built plans with the Zoning Administrative Officer, indicating any deviations from the approved Site Plan. The Zoning Administrative Officer shall be responsible for ensuring compliance with the site plan approval and for the inspection of site improvements, including coordination with the Town's consultants and other local officials and agencies, as may be appropriate, and shall grant a Certificate of Occupancy upon a finding that the project as built complies in all material respects with the Site Plan. The Zoning Administrative Officer shall also have the authority to inspect soil mines for compliance with conditions authorized by §175-17.2D throughout the life of the mine. Costs of any required inspections may be charged to the applicant as provided in section §71-3 of the Town Code.

ADJOINER'S LIST

39.2-21.2

DELLA VALLE

38.-3-25

ROCKWELL, MARIAN
PO Box 985
Fort Montgomery, NY 10922

38.-3-24.1

OLSPAN LLC
Attn.: Eisneramper – Joel Zbar
750 Third Ave Fl 22
New York, NY 10017

39.-2-22

TOWLES, AMOR
133 E 18th St
New York, NY 10003

39.-2-21.1

FADDEN, CHRISTOPHER
Attn.: Cyberchron
PO Box 160
Cold Spring, NY 10516

38.-3-24.21

C F DIVERSIFIED CORP
PO Box 160
Cold Spring, NY 10516

39.-2-21.4

GOREVIC, ROGER
60 Round Hill Rd
Cold Spring, NY 10516

39.-2-21.3

FADDEN, CHRISTOPHER
101 Round Hill Rd
Cold Spring, NY 10516

38.-3-24.22

ROSSI, NICHOLAS
JEROME T ROSSI TRUST
50 Main St Ste 1000
White Plains, NY 10606

RECEIVED
SEP 16 2016
BY: *[Signature]*

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:			Approval of Site Plan for Jared Della Valle		
Project Location (describe, and attach a general location map):			117 Round Hill Road Garrison, NY 10524		
Brief Description of Proposed Action (include purpose or need):					
Proposed single story residential structure with garage, pool and pool area					
Name of Applicant/Sponsor:		Telephone:		718-222-8125	
Jared Della Valle		E-Mail:		jdellavalle@alloyllc.com-	
Address: 20 Jay Street Suite 1003					
City/PO:		State:		Zip Code:	
Brooklyn		NY		11201	
Project Contact (if not same as sponsor; give name and title/role):			Telephone:		
-			E-Mail:		
Address:					
-					
City/PO:		State:		Zip Code:	
-		-		-	
Property Owner (if not same as sponsor):		Telephone:			
Jared & Carolina Della Valle		E-Mail:			
Address: 20 Jay Street Suite 1003					
City/PO:		State:		Zip Code:	
Brooklyn		NY		11201	

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SEP 16 2016
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B. Government Approvals

B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan/Special Use	09/01/2016
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	239 Referral	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
RC (RuralConservation) 10 Acre residential

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Haldane School District

b. What police or other public protection forces serve the project site?
County Sheriff Dept., New York State Troopers

c. Which fire protection and emergency medical services serve the project site?
North Highland Fire District

d. What parks serve the project site?
Fahnestock State Park, Mayors Park, Tiny Tots Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 6.691 acres
 b. Total acreage to be physically disturbed? 1.920 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 11.047 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 12 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	1			
At completion of all phases	1			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

N/A

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: 750 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: _____

• Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: 5 gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: 750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sewage

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or _____ acres (impervious surface) 0.435

_____ Square feet or _____ acres (parcel size) 6.691

ii. Describe types of new point sources. Roof Drains

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

Yes

- If to surface waters, identify receiving water bodies or wetlands: N/A

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 LED Landscape Lighting

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products (185 gallons in above ground storage or any amount in underground storage)? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation: _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____
 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____
 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.049	0.435	0.386
• Forested	6.264	4.771	1.493
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.000	1.485	1.107
• Agricultural (includes active orchards, field, greenhouse etc.)	0.000	0.000	0.000
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.000	0.000	0.000
• Wetlands (freshwater or tidal)	0.000	0.000	0.000
• Non-vegetated (bare rock, earth or fill)	0.000	0.000	0.000
• Other Describe: _____	0.000	0.000	0.000

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes - Spills Incidents database Provide DEC ID number(s): _____
 Yes - Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? 5 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:	<u>Charlton Chatfield Complete</u>	<u>37</u> %
	<u>Charlton Chatfield Complete</u>	<u>0</u> %
	<u>Hollis</u>	<u>0</u> %

d. What is the average depth to the water table on the project site? Average: 6 feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: 0 % of site
 Poorly Drained: 0 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 100 % of site
 10-15%: 0 % of site
 15% or greater: 0 % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

b. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: Dee

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): See attached
 natural Community nearby _____
 ii. Source(s) of description or evaluation: NYSDEC Environmental Mapper
 iii. Extent of community/habitat:
 • Currently: 0.000 acres
 • Following completion of project as proposed: 0.000 acres
 • Gain or loss (indicate + or -): 0.000 acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within 5 miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Project is within the 5 miles of Route 9D a Scenic Highway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Highway

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

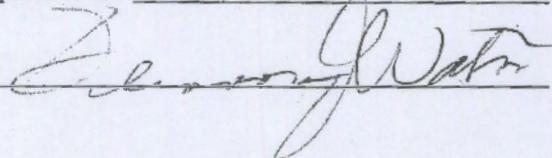
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

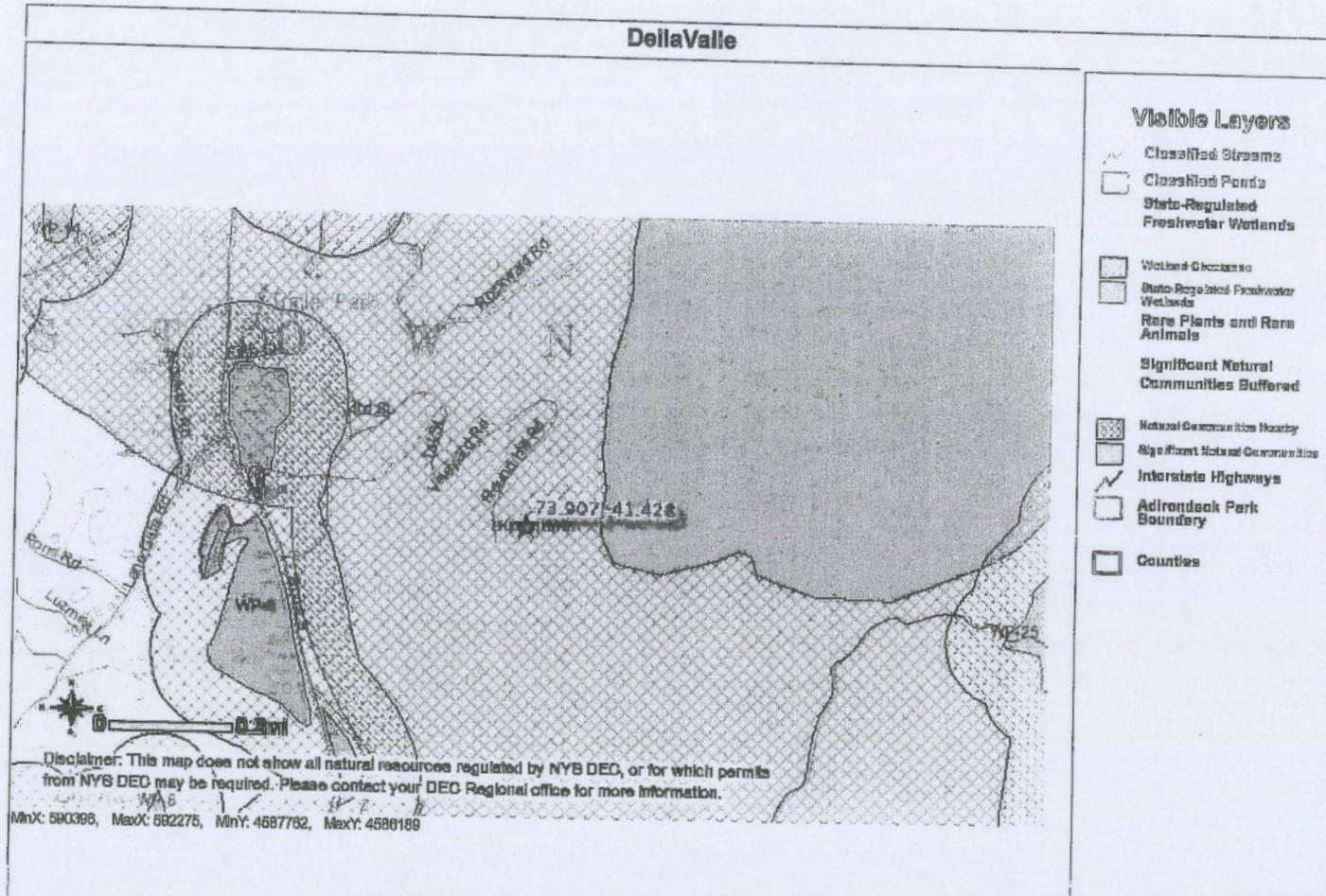
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jared Della Valle Date 09/01/2016

Signature  Title Surveyor for Applicant

[print page] [close window]

Please set your printer orientation to "Landscape".



Disclaimor: This map was prepared by the New York State Department of Environmental Conservation using the most current data available. It is deemed accurate but is not guaranteed. NYS DEC is not responsible for any inaccuracies in the data and does not necessarily endorse any interpretations or products derived from the data.

RECEIVED
 SEP 16 2016
 BY:

[print page] [close window]

The Coordinates of the point you clicked on are:

NYTM	E: 591321	Longitude/Latitude	W: 73.907
	N: 4586953		N: 41.428

Rare Plants and Rare Animals

This location is in the vicinity of one or more:

Rare Animals and/or Rare Plants

Natural Communities Near This Location.

Natural Community Name	Location	Ecological System
Chestnut oak forest	Round Hill Philipstown	Uplands

Old or Potential Records (these records are not displayed on the map)

Common Name	Scientific Name	Date Last Documented	Location	Habitat Where Last Seen	Animal, Plant, or other	NYS Protected Status
Wild Hydrangea	Hydrangea arborescens	1896-08-21	Highlands		Rare Plant	Endangered
Stiff-leaf Goldenrod	Oligoneuron rigidum var. rigidum	no date	Philipstown		Rare Plant	Threatened

USGS Quadrangle

USGS Quadrangle Name
WEST POINT

If your project or action is within or near an area with a rare animal, a permit may be required if the species is listed as endangered or threatened and the department determines the action may be harmful to the species or its habitat.

If your project or action is within or near an area with rare plants and/or significant natural communities, the environmental impacts may need to be addressed.

The presence of a unique geological feature or landform near a project, unto itself, does not trigger a requirement for a NYS DEC permit. Readers are advised, however, that there is the chance that a unique feature may also show in another data layer (ie. a wetland) and thus be subject to permit jurisdiction.

Please refer to the "Need a Permit?" tab for permit information or other authorizations regarding these natural resources.

Disclaimer: If you are considering a project or action in, or near, a wetland or a stream, a NYS DEC permit may be required. The Environmental Resources Mapper does not show all natural resources which are regulated by NYS DEC, and for which permits from NYS DEC are required. For example, Regulated Tidal Wetlands, and Wild, Scenic, and Recreational Rivers, are currently not included on the maps.



Michael C Bartolotti, County Clerk
Putnam County Office Building
40 Glenside Avenue Room 100
Carmel, New York 10512



ACS-000000000381832-000000000760808-004

Endorsement Page

Document # 1501081 Drawer # 02 Recorded Date: 05/04/2016
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Document Page Count: 4 Receipt # 7393

PRESENTER:
KENSINGTON VANGUARD NATIONAL LAND SERVICES
89 WEST 37TH STREET
BRD FL (826442A)
NEW YORK, NY 10018

RETURN TO:
HOWARD BRICKNER, ESQ.
BRICKNER MAKOW LLP
292 WARREN STREET
BROOKLYN, NY 11201

PARTIES

GRANTOR
CHRISTOPHER FADDEN

GRANTEE
JARED DELLA VALLE

FEE DETAILS

RESERVED FOR CERTIFICATION

Consideration:		\$650,000.00
1501081		
DEED COM OR VACANT	4	40.00
TP-584	1	5.00
CULTURAL EDUCATION		15.00
RP-5217 COMMERCIAL		250.00
RECORD MANAGEMENT		5.00
TRANSFER TAX		2,600.00
PROCESSING FEE	1	1.00
AMOUNT FOR THIS DOCUMENT:		2,916.00
RETT #	000001756	

THIS DOCUMENT WAS EXAMINED PURSUANT TO S315
REAL PROPERTY LAW

EXEMPTIONS

RESERVED FOR CLERKS NOTES

Michael C. Bartolotti
Putnam County Clerk

RECEIVED
SEP 16 2016

BY:

826442-A

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 26th day of April, 2016

BETWEEN

CHRISTOPHER FADDEN., 101 Round Hill Road, Cold Spring, New York 10516

party of the first part, and

JARED DELLA VALLE and CAROLINA DELLA VALLE, husband and wife, 20 Jay Street, Suite 1003, Brooklyn, New York 11201

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

Ten and 00/100 (\$10.00) dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

Town of Phillipstown, County of Putnam and State of New York and more particularly bounded and described in the annexed Schedule A.

39
2
21-2

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" when ever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Christopher Fadden
Christopher Fadden

Stewart Title Insurance Company

Title Number: 826442(S-NY-RP-DN)A

**SCHEDULE A
DESCRIPTION**

The land referred to in this Certificate of Title is described as follows:

Tax Lot 21.2

All that certain plot, piece or parcel of lands, situate, lying and being in the Town of Philipstown, County of Putnam, State of New York, being known and designated as Lot number 14 on shown on a certain map entitled "Phase One Subdivision Plat Prepared for C. F. Diversified Corp./Fadden", prepared by Badey & Watson, Surveying & Engineering, P.C. on June 3, 1996 and last revised March 28, 1997 which map was filed May 20, 1997 in the Putnam County Clerk's Office as Map No. 2714

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Westchester, ss:

On the 26 day of April in the year 2016, before me, the undersigned, personally appeared CHRISTOPHER FADDEN personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

[Signature] Amanda Wasserman Notary Public, State of New York No. 01WA6080829 Qualified in Westchester County Commission Expires September 23, 2016

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of, ss:

On the day of in the year before me, the undersigned, a Notary Public in and for said State, personally appeared the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in

(if the place of residence is in a city, include the street and street number if any, thereof) that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of, ss:

On the day of in the year before me, the undersigned, personally appeared personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

*State of, County of, ss:

(Or insert District of Columbia, Territory, Possession or Foreign Country)

On the day of April in the year 2016 before me, the undersigned personally appeared

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the

(add the city or political subdivision and the state or country or other place the acknowledgment was taken).

Bargain and Sale Deed With Covenants

Title No. 826AD

Christopher Fadden

TO

Jared Della Valle and Carolina Della Valle

SECTION: 39.

BLOCK: 2

LOT: 21.2

COUNTY OR TOWN: County of Putnam/Town of Philipstown

RETURN BY MAIL TO:

Brickner Makow, LLP 292 Warren Street Brooklyn, New York 11201

Attention: Howard Brickner, Esq.

DISTRIBUTED BY



YOUR TITLE EXPERTS

The Judicial Title Insurance Agency LLC 800-281-TITLE (8485) FAX: 800-FAX-9396

826442

FOR COUNTY USE ONLY

C1. SWIS Code 372689
C2. Date Deed Recorded 5/4/16
C3. Book 2009 C4. Page 495



New York State Department of Taxation and Finance
Office of Real Property Tax Services
RP-5217-PDF
Real Property Transfer Report (8/10)

PROPERTY INFORMATION

1. Property Location 117 Round Hill Road
Philipstown 10516

2. Buyer Name Della Valle Jared
Della Valle Carolina

3. Tax Billing Address 20 Jay Street, Suite 1003 Brooklyn NY 11201

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcels OR Part of a Parcel
5. Deed Property Size 6.69 acres

6. Seller Name Fadden Christopher

7. Select the description which most accurately describes the use of the property at the time of sale:
C. Residential Vacant Land

Check the boxes below as they apply:
8. Ownership Type is Condominium
9. New Construction on a Vacant Land
10A. Property Located within an Agricultural District
10B. Buyer received a disclosure notice indicating that the property is in an Agricultural District

SALE INFORMATION

11. Sale Contract Date 12/30/2015
12. Date of Sale/Transfer 04/26/2016
13. Full Sale Price 650,000.00
14. Indicate the value of personal property included in the sale .00

15. Check one or more of these conditions as applicable to transfer:
A. Sale Between Relatives or Former Relatives
B. Sale between Related Companies or Partners in Business.
C. One of the Buyers is also a Seller
D. Buyer or Seller is Government Agency or Lending Institution
E. Deed Type not Warranty or Bargain and Sale (Specify Below)
F. Sale of Fractional or Less than Fee Interest (Specify Below)
G. Significant Change in Property Between Taxable Status and Sale Dates
H. Sale of Business is Included in Sale Price
I. Other Unusual Factors Affecting Sale Price (Specify Below)
J. None

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

16. Year of Assessment Roll from which information taken (YY) 15
17. Total Assessed Value 115,340
18. Property Class 314
19. School District Name Haldane
20. Tax Map Identifier(s)/Roll Identifier(s) (if more than four, attach sheet with additional identifier(s))
39.-2-21.2

CERTIFICATION

I Certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and I understand that the making of any willful false statement of material fact herein subject me to the provisions of the penal law relative to the making and filing of false instruments.

SELLER SIGNATURE: Christopher Fadden
BUYER SIGNATURE: Jared Della Valle, Carolina Della Valle

BUYER CONTACT INFORMATION
Jay Street Suite 1003
Brooklyn NY 11201

BUYER'S ATTORNEY
Brickner Howard M.
(718) 624-1550





RONALD J. GAINER, P.E., PLLC

31 Baldwin Road, Patterson, NY 12563

Mailing Address: PO BOX 417, Pawling, NY 12564

office 845-878-6507

cell 845-527-1432

TO: Town of Philipstown Planning Board DATE: August 2, 2016
FROM: Ronald J. Gainer, PE SUBJ: DellaValle Site Plan; Vineyard Road (a/k/a Round Hill Road)

As provided in Section 175-66B of the Town Code a pre-application meeting was held on July 22, 2016 concerning a proposal to develop a one-family residential structure on a vacant lot at the end of the roadway.

In attendance were the following:

Jared DellaValle	-	Applicant
Jenny Kim	-	Applicant's Architect
Glenn Watson	-	Applicant's Consultant
Anthony Merante	-	Planning Board Chairman
Kim Conner	-	Planning Board Member
Mary Ellen Finger	-	Planning Board Member
Linda Valentino	-	Planning Board Secretary
Greg Wunner	-	Code Enforcement Officer
Ron Gainer	-	Town Engineer

The following matters were discussed:

Application Scope/Purpose:

The property comprises 6.69 acres, and has been purchased by DellaValle from Chris McFadden; tax map no. 39.-2-21.2.

The property abuts a Town "Ridgeline" protection area, and contains significant regulated steep slopes. 24% of the tract comprises slopes <20%. 2,500 sf of disturbance is expected within slopes >20%. Therefore, the "Steep Terrain and Ridgeline Protection" section (§175-36) of the Zoning Ordinance must be addressed. Due to disturbances planned in areas of >20%, a "Special Permit" must be obtained from the Planning Board.

The Applicant is proposing to a one-story residential structure built into the sloping land, so that there will be a "walk-out" basement facing the view to the south (although the visible wall will be glassed, and used for active, living space). The building will have a 16.7 foot building height (per code definition). The building will have earthen tones, with a low profile, to minimize any visual impacts.

The building will have a 3,094 sf "footprint", while the overall square footage proposed is approx. 5,000 sf (including the garage). A pool will also be constructed on the property.

The access driveway on-site was previously graded. An SSTS for a 5-BR house was previously designed (by Michael Carr) and received PC DOH approval. This approval would have to be renewed. This disturbance must be included in the calculation of overall site disturbance.

RECEIVED
SEP 16 2016

RE: DellaValle Residential Site Plan; Vineyard Road (a/k/a Round Hill Road)

There will be significant tree clearing in the vicinity of the house/pool/garage/pool areas, but it likely that this will not impact the viewshed since there are no known "public spaces" from which the site is visible. Further, it was noted that the driveway & SSTS areas have previously been cleared.

Zoning District:

The property is located in the "RC" (Residential Conservation) Zoning District.

Site Plan Review Required:

Per the Town of Philipstown "Use Table" contained in the Zoning Ordinance, Site Plan approval from the Planning Board is required if the structure to be constructed is in excess of 3,000 sf. As this threshold is being exceeded, **SITE PLAN REVIEW** is required. Additionally, as noted above, a **SPECIAL PERMIT** is also required.

Fees:

Per the Town's Fee Schedule, it would appear that the following fees should be paid by the applicant upon the filing of an application:

- "One & Two-family Site Plan, more than 3,000 sf" - ~~\$300~~ 300.00
- "Special Permit" fee - \$1,500 500.00
- "Public Hearing" fee - \$250
- "Escrow" fees to be posted - \$5,000 (any un-used fees returned)

At the conclusion of these discussions, the pre-application meeting concluded.

- c: Greg Wunner, Code Enforcement Officer
Antony Merante, Planning Board Chairman
Linda Valentino, Planning Board Secretary
Applicant (c/o Badey & Watson, PC)





August 30, 2016

Jean Pietrusiak
New York State Dept. of Environmental Conservation-Information Services
625 Broadway 5th Floor
Albany, NY 12233
Email: naturalheritage@dec.ny.gov

RE: 117 Round Hill Road, Town of Philipstown, Putnam County

Dear Ms. Pietrusiak:

We have been asked to prepare a residential Site Plan for construction of a new single family residence, driveway, septic & well. The site is 6.691 acres, of mostly wooded area with steep terrain and ledge outcroppings.

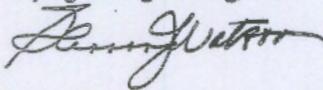
We also need this information to complete the Environmental Assessment Form to be reviewed by Town of Philipstown Planning Board.

Could you check your Resource Index to see if there are any recorded indications of threatened or endangered species in the vicinity of the property?

Should you have any question or if you need further information, please do not hesitate to contact us.

Your earliest possible response would be appreciated. Thank you in advance for your efforts.

Yours truly,
BADEY & WATSON,
Surveying & Engineering, P.C.



by
Glennon J. Watson, L.S.
845.265.9217 x14
GJW/mew
cc: File U:\74-148\JP30AG16BP.dobx

RECEIVED
SEP 16 2016
BY: 